

City of Pleasant Ridge
23925 Woodward Avenue
Pleasant Ridge, Michigan 48069

**City Commission Meeting
February 9, 2016
Agenda**

Honorable Mayor, City Commissioners and Residents: This shall serve as your official notification of the Public Hearing and Regular City Commission Meeting to be held Tuesday, February 9, 2016, at 7:30 p.m., in the City Commission Chambers, 23925 Woodward Avenue, Pleasant Ridge, Michigan 48069. The following items are on the Agenda for your consideration:

PUBLIC HEARING AND REGULAR CITY COMMISSION MEETING – 7:30 P.M.

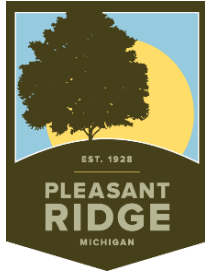
- 1. Meeting Called to Order.**
- 2. Pledge of Allegiance.**
- 3. Roll Call.**
- 4. PUBLIC DISCUSSION – items not on the Agenda.**
- 5. Governmental Reports.**
- 6. City Commission Liaison Reports.**
 - **Commissioner Perry – Planning and DDA**
 - **Commissioner Scott – Historical Commission**
 - **Commissioner Krzysiak – Recreation Commission**
 - **Commissioner Foreman – Committee Liaison**
- 7. Consent Agenda.**

All items listed on the Consent Agenda are considered to be routine by the City Commission, will be enacted by one motion and approved by a roll call vote. There will be no separate discussion of these items unless a City Commissioner or visitor so requests, in which event, the item will be removed from the consent agenda and considered as the last item of business.

 - a. Minutes of the Public Hearing and Regular City Commission Meeting held Tuesday, January 12, 2016.
 - b. Monthly Disbursement Report.
 - c. Appointment of Mr. Douglas Mooney to the Pleasant Ridge Historical Commission, term to expire December 31, 2018.
 - d. Appointment of Mr. Thomas Treuter and Mr. Kevin Barlow to the Pleasant Ridge Planning Commission/Downtown Development Authority, term to expire December 31, 2018.
 - e. Appointment of Ms. Esther Winer to the Pleasant Ridge Recreation Commission, term to expire December 31, 2018.

8. **Ordinance Amending the Pleasant Ridge Zoning Ordinance.**
 - a. **Public Hearing** – Solicitation of public comments on an Ordinance to amend Chapter 82 (Zoning), Section 82-3 Definitions, Section 82-98, Districts Established, Section 82-102, District Requirements, Section 82-103, Zoning District Purpose Statements, Section 82-133, Permitted Uses by District, Section 82-164, Yard and Bulk Requirements, Section 82-166, Neighborhood Compatibility, and Zoning Map Amendments.
 - b. Ordinance to amend Chapter 82 (Zoning), Section 82-3 Definitions, Section 82-98, Districts Established, Section 82-102, District Requirements, Section 82-103, Zoning District Purpose Statements, Section 82-133, Permitted Uses by District, Section 82-164, Yard and Bulk Requirements, Section 82-166, Neighborhood Compatibility, and Zoning Map Amendments.
9. **Adoption of the Pleasant Ridge Exterior Design Standards.**
10. **Update/presentation regarding the Gainsboro Park Project.**
11. **City Manager's Report.**
12. **Other Business.**
13. **Adjournment.**

In the spirit of compliance with the Americans with Disabilities Act, individuals with a disability should feel free to contact the City at least seventy-two (72) hours in advance of the meeting, if requesting accommodations.



City of Pleasant Ridge
23925 Woodward Avenue
Pleasant Ridge, Michigan 48069

**Regular City Commission Meeting
January 12, 2016**

Having been duly publicized, Mayor Metzger called the meeting to order at 7:30 p.m.

Present: Commissioners Foreman, Krzysiak, Perry, Scott, Mayor Metzger.
Also Present: City Manager Breuckman, City Attorney Need, City Clerk Drealan.
Absent: None.

Agenda Amendment

City Manager Breuckman requested to add Resolution in Opposition of PA 269 after Public Discussion as Item 4A.

Public Discussion

Mr. Ted Zachary, 68 Devonshire, representing the Environmental Committee, reported that the tonnage of recyclables was 21 tons in September, 29 tons in October, 26 tons in November, and 27 tons in December. An event for 2016 will be Monday, March 21st, 7:00p to 9:00p, 4 Ridge, Dr. Tom Kocarek, Wayne State University, will speak on the “Health & Environmental Effects of Chemical Pesticides.” Following Dr. Kocarek, Lisa Sargent, Detroit Chapter of the Ecology Center, will follow with safe and environmentally friendly solutions for lawn and gardens. Bill Riley will be speaking at the Hazel Park Library, Thursday, January 14, 6:30p to 8:00p, on how to spot a criminal. “Ted’s Tip” is that a normal preheat of an oven to 350-degrees is approximately 7 to 9 minutes, so take that in consideration during the amount of preparation time so that you are not wasting energy.

Resolution in Opposition of PA 269

City Manager Breuckman had a handout for the add-on item regarding the Resolution in Opposition of PA 269 (Senate Bill 571), Section 57, Subsection 3, wherein the new law prohibits a public body or a person acting for a public body from using public funds or resources for the purpose of communicating any information to the electorate regarding a local ballot question within 60 days or an election, along with placing an immediate gag order on entities with ballot questions. Breuckman read the proposed Resolution. Commissioner Krzysiak inquired as to the penalty of a violation of this law whether or not it is sanctioned against an individual or the city. City Attorney Need responded that it could go either way. Krzysiak finds this new law to be troublesome and commends Breuckman for bringing this resolution to the Commission. Commissioner Foreman believes that a public body should be able to provide information to the residents/voters in order for them to become better informed and gave the example of the recent millage that passed. Commissioner Scott supported the comments that have been made by the other Commissioners.

16-3230

Motion by Commissioner Foreman, second by Commissioner Scott, that the Resolution in Opposition of PA 269 as recommended by the Michigan Municipal League be adopted.

Adopted: Yeas: Commissioner Foreman, Scott, Krzysiak, Perry, Mayor Metzger
 Nays: None.

Governmental Reports

Chief Kevin Nowak, Pleasant Ridge Police, reported that there were a number of property crimes in the City during the months of November and December that included home invasion, and several attempts; breaking and entering garages, and several attempts; and larcenies from unlocked vehicles. An arrest has been made and the suspect, a former Pleasant Ridge resident, has been linked to numerous crimes in neighboring cities. Chief Nowak thanked Berkley Public Safety, Ferndale Police Department, Detroit Police Department, Michigan State Police, Oak Park Public Safety, and Royal Oak Police Department for their efforts in solving these cases. The investigation is still active and ongoing. During the months that the crimes were reported, the Pleasant Ridge Police Department took action and had officers in plain clothes on walking the streets, on bikes, and undercover cars. Chief Nowak commended Sergeant Reed for the many hours working this case, even on his own time, which led to the apprehension of the suspect. Many residents noticed something unusual, but never bothered to call the police. Chief Nowak reminded residents to make sure personal property, such as, garages and vehicles are locked at all times, and having motion sensor lights is a good deterrent. City Manager Breuckman commended the police department for its efforts. Mayor Metzger expressed frustration from comments on Facebook from residents that do not believe the police department cares or makes an effort to investigate crimes. Commissioner Foreman inquired as to why the police department did not share the fact that there was a major investigation going on, and Chief Nowak responded that the nature of investigating a crime needs to be somewhat concealed in order to not tip off a suspect that various surveillances are set up, pawn shops are being monitored, along with even Craig's List. Breuckman reported that a neighborhood watch meeting will be scheduled in the near future in order to report on the sequence of events that led up to the arrest.

City Commissioner Liaison Reports

Commissioner Foreman reported that Jackie Hart has been appointed to fill the vacancy on the Ferndale School Board. A kindergarten open house will take place on January 27th, 6:00p to 8:00p, Roosevelt Lower Elementary School. If you RSVP by January 19, you will be entered into a prize raffle. Ferndale High School has been afforded the opportunity to work with CNBC and Universal Studios on an entrepreneur challenge. Marcus Lemonis, "The Profit" reality TV show host, will select the winning team and visit the school on January 26th to announce the winners. The next School Board meeting will be held January 20th, 7:00p, Ferndale High School.

Commissioner Perry reported that the Planning Commission/DDA met Monday, December 14th. DDA approved the final banner designs for the Pleasant Ridge light poles along Woodward Avenue. Planning Commission held public hearings on the Amendment to the Pleasant Ridge Zoning Ordinance regarding changes to the Manufacturing District, use table update, map update, and proposed exterior design standards. Motions for approval will presented to the Commission this evening. A request was made to the Planning Commission for Capital Improvement Plan ideas for

the January meeting. Commissioners Laidlaw and Decoster were commended for their years of service on the Planning Commission/DDA Boards. The next meeting will be held Monday, January 25th, 7:00p.

Commissioner Scott reported that the Historical Commission has started planning the next Home & Garden Tour on June 4th. The next meeting is February 3rd.

Commissioner Krzysiak reported that on Wednesday, January 20th, 10:00a, 50-plus Club bus trip will be a mystery trip making stops at surprise locations in Detroit. This event will last about 4-5 hours and cost is \$22/person. Each person is responsible for the cost of their lunch. The Daddy/Daughter Dance will be held Friday, February 5th, 6:30p to 8:00p, \$5/person. Each couple will receive a complimentary keepsake photo. Krzysiak reported that over the last several months there have been many meetings on finalizing the plans for Gainsboro Park. Breuckman presented a PowerPoint outlining the various phases. Construction drawings are starting to be developed and are 30-percent completion. There is a meeting in February for the 60-percent drawings; and the construction drawings should be completed by April. Total budget for Phase 1 is approximately \$800,000 to \$875,000. Phase 1 improvements include the community garden and dog park entrance relocation; Kensington park entrance; walking path system (Sylvan to Kensington); new 5-12 play area and equipment; seating/gathering space at the shelter; irrigated open lawn area; resurface tennis and basketball courts; reconstruct Amherst parking lot (reduce size, same number of spaces, green infrastructure); Gainsboro street pedestrianization; DPW yard fence improvements (south side); baseball diamond improvements; and adult exercise equipment. As grant money is received, the Phase 2 improvements will include pavilion structure at the heart of the park; play area at Victory Park; pathway lighting/park decorative lighting; public art; and Flynn Field walking path.

Consent Agenda

16-3231

Motion by Commissioner Perry, second by Commissioner Foreman, that the Consent Agenda be approved, as recommended.

Adopted: Yeas: Commissioner Perry, Foreman, Krzysiak, Scott, Mayor Metzger
 Nays: None.

Deficit Elimination Plan – Capital Project Fund

City Manager Breuckman reported that when the City's 2015 audited financial statements were filed with the State of Michigan the Capital Projects Fund was in a deficit condition. When this occurs and the State takes notice, the local unit of government must file a "Deficit Elimination Plan" with the Department of Treasury. The Capital Projects Fund includes items, such as, streets and park improvements. The deficit occurred due to the fact that the City has been self-financing various projects in order to avoid paying interest on outside borrowed money. The proposed plan adjusts some accounting changes that will eliminate the deficit. Mr. Brian Camiller, Plante Moran, added that the City did not make any mistakes in how the projects were funded, but the State prefers that cities not have a deficit and that a funding mechanism is in place in order to remedy the deficit. The City has millages for the improvement projects deficit. Money was spent in advance to complete the projects before the monies were available from these millages.

16-3232

Motion by Commissioner Foreman, second by Commissioner Scott, that the Deficit Elimination Plan for the City's Capital Project Fund be approved.

Adopted: Yeas: Commissioner Foreman, Scott, Krzysiak, Perry, Mayor Metzger
 Nays: None.

Establish Public Hearing – Tuesday, February 9, 2016, 7:30 p.m., on proposed Exterior Design Standards, M-Manufacturing District; Use Table and Map Update

A public hearing is requested to solicit public comments on the ordinance amending the Pleasant Ridge Zoning Ordinance regarding the proposed Exterior Design Standards, M-Manufacturing District, Use Table Update and Map Update. City Manager Breuckman referred to the memos in the packet and indicated that this will be two different items on the next meeting's agenda. The zoning amendment will be voted on first, and if approved, then the actual exterior design standards will be voted on to be enforced. Breuckman reviewed the proposed zoning map update, which included the rezoning of Roosevelt School in the residential area to parks/recreational area. Commissioner Krzysiak inquired if the rezoning of Roosevelt School would prevent the School District from selling it down the road, and Breuckman responded that it would not prevent a sale, but the City would have better leverage on what actually happens with the site. Commissioner Foreman added that with the School District selling other properties, Roosevelt will most likely remain serving the K-2 grades. Breuckman presented a slideshow on the proposed Exterior Design Standards and explained that the new standards will provide clear direction and allow for consistent enforcement. The basis for the standards is traditional architecture. Breuckman gave an in-depth presentation of the various elements and materials that will be allowed under the proposed standards. The Planning Commission recommended approval of this proposed amendments and design standards. Commissioner Scott inquired if these standards apply to corner lots or homes facing municipal properties, and Breuckman responded it is street facing as of now and he will look into whether or not it applies to parks.

16-3233

Motion by Commissioner Perry, second by Commissioner Scott, that the Public Hearing be scheduled for Tuesday, February 9, 2016, at 7:30 p.m., to solicit public comments on an ordinance amending the Pleasant Ridge Zoning Ordinance regarding the proposed Exterior Design Standards, M-Manufacturing District, Use Table Update and Map Update.

Adopted: Yeas: Commissioner Perry, Scott, Foreman, Krzysiak, Mayor Metzger
 Nays: None.

Municipal Civil Infraction Ordinance

City Attorney Need explained that this is the first step in a 2-step process. The proposed amendments are mostly process orientated and set forth how the civil infractions can be issued. After this is approved, the next procedure will be to review the Ordinance in order to adjust charges to a civil infraction and amend the fine schedule.

Mayor Metzger opened the Public Hearing at 9:06 p.m.

With no comments or discussion, Mayor Metzger closed the public hearing at 9:07 p.m.

16-3234

Motion by Commissioner Foreman, second by Commissioner Perry, that Ordinance 416 amending certain sections of the Pleasant Ridge City Code regarding Municipal Civil Infractions be approved.

Adopted: Yeas: Commissioner Foreman, Perry, Krzysiak, Scott, Mayor Metzger
 Nays: None.

Annual Meeting Schedule

Mayor Metzger referred the Commission to the packet with the proposed meeting schedules for the City Commission, Historical Commission, Planning Commission/Downtown Development Authority, and Recreation Commission. City Manager Breuckman highlighted a few changes on the City Commission meetings, one being the meeting on March 8th that is also the presidential election will be rescheduled for March 15th. The meeting of October 11th meeting falls on Yom Kippur and will be rescheduled for October 18th. The general election is on November 8th and the rescheduled meeting will be November 15th.

16-3235

Motion by Commissioner Perry, second by Commissioner Scott, that the 2016 Annual Meeting Schedule for the City Commission, Historical Commission, Planning Commission/Downtown Development Authority, and the Recreation Commission be approved.

Adopted: Yeas: Commissioner Perry, Scott, Foreman, Krzysiak, Mayor Metzger
 Nays: None.

City Manager's Report

City Manager Breuckman announced that the January *Ridger* will be delivered this week. The “dangerous animals” town hall meeting will be January 19th, at the Community Center. In *The Ridger* is information on a cooperative tree purchase program that the City is offering for the city streets only. Orders/checks are due by February 4th. *The Ridger* also has a 2016 community survey focusing on how the City is doing delivering the core functions of government. All information is available online. Beginning February 4th, Pleasant Ridge is partnering with Royal Oak to provide on-demand bus transportation for Pleasant Ridge residents. The service is provided on Thursdays from 9:15 a.m. to 3:30 p.m. and can travel within a 5-mile radius of the Community Center. New banners will be displayed on the light posts along Woodward Avenue that is sponsored by the DDA. A new City logo will also be going into effect. Commissioner Foreman requested clarification of the date on the banner, and Breuckman explained that Pleasant Ridge incorporated as a city in 1928, and the word “established” used on the banner seemed to be a friendlier term. Pleasant Ridge was incorporated as a village in 1919. Mayor Metzger complimented the final product of the banner.

Other Business

Commissioner Krzysiak reported that the next book for the Book Club will be “Dead Wake: The Last Crossing of the Lusitania” by Erik Larson and will be discussed on Monday, January 25th, at 7:00 p.m., Community Center.

With no further business or discussion, Mayor Metzger adjourned the meeting at 9:25 p.m.

Mayor Kurt Metzger

Amy M. Drealan, City Clerk
/mat

JANUARY 2016

ACCOUNTS PAYABLE

PAYROLL LIABILITIES	\$	7,054.92
TAX LIABILITIES	\$	585,649.77
ACCOUNTS PAYABLE	\$	250,986.87
TOTAL	\$	843,691.56

PAYROLL

January 06, 2016	\$	33,305.55
January 20, 2016	\$	29,307.46

TOTAL	\$	62,613.01
--------------	-----------	------------------

CHECK REGISTER FOR CITY OF PLEASANT RIDGE
PAYROLL LIABILITIES
January 2016

PG 1

Check Date	Check	Vendor Name	Description	Amount
1/6/2016	1552	MIFOP	UNION DUES-DEC 2015	\$ 188.00
1/6/2016	1553	MISDU	FOC DEDUCTIONS	\$ 224.60
1/6/2016	1554	M&T BANK-ICMA - 401a	RETIRMENT CONTRIBUTIONS	\$ 1,345.44
1/6/2016	1555	ICMA RETIREMENT TRUST - 457	RETIRMENT CONTRIBUTIONS	\$ 2,268.67
1/20/2016	1157	MISDU	FOC DEDUCTIONS	\$ 224.60
1/20/2016	1558	M&T BANK-ICMA - 401a	RETIRMENT CONTRIBUTIONS	\$ 1,230.44
1/20/2016	1559	ICMA RETIREMENT TRUST - 457	RETIRMENT CONTRIBUTIONS	\$ 1,573.17
TOTAL PAYROLL LIABILITIES				<u><u>\$ 7,054.92</u></u>

**CHECK REGISTER FOR CITY OF PLEASANT RIDGE
TAX LIABILITIES
JANUARY 2016**

PG 2

Check Date	Check	Vendor Name	Description	Amount
01/12/2016	2346	ARTHUR BOISMIER	2015 WINTER TAX OVERPAYMENT	\$ 94.92
01/12/2016	2347	BRADFORD AND DEENA PARKS	2015 SUMMER TAX OVERPAYMENT	\$ 7.40
01/12/2016	2348	CAPITAL TITLE	OVERPAYMENT OF 2015 WINTER TAXES	\$ 638.41
01/12/2016	2349	CITY OF PLEASANT RIDGE-DDA	2015 TAX COLLECTIONS TO 1-5-2016	\$ 11,370.16
01/12/2016	2350	CITY OF PLEASANT RIDGE-GENERAL	2015 TAX COLLECTIONS TO 1-6-2016	\$ 168,823.00
01/12/2016	2351	FERNDALE PUBLIC SCHOOL	2015 TAX COLLECTIONS TO 1-5-2016	\$ 75,155.78
01/12/2016	2352	GEORGE AND LORETTA LENKO	OVERPAYMENT 2015 WINTER TAXES	\$ 437.55
01/12/2016	2353	OAKLAND COUNTY TREASURER	2015 TAX COLLECTIONS TO 1-5-2016	\$ 263,011.28
01/12/2016	2354	TITLE SOURCE	2015 WINTER TAX OVERPAYMENT	\$ 146.90
01/26/2016	2355	CITY OF PLEASANT RIDGE-DDA	2015 TAX COLLECTIONS TO 1-22-2016	\$ 1,147.62
01/26/2016	2356	CITY OF PLEASANT RIDGE-GENERAL	2015 TAX COLLECTIONS TO 1-22-2016	\$ 26,150.10
01/26/2016	2357	FERNDALE PUBLIC SCHOOL	2015 TAX COLLECTIONS TO 1-22-2016	\$ 9,560.28
01/26/2016	2358	KATHLEEN AND THOMAS VOLLMER	OVERPAYMENT OF 2015 WINTER TAXES	\$ 256.37
01/26/2016	2359	OAKLAND COUNTY TREASURER	2015 TAX COLLECTIONS TO 1-22-2016	\$ 28,850.00

TOTAL TAX LIABILITIES	\$ 585,649.77
-----------------------	---------------

CITY OF PLEASANT RIDGE CHECK REGISTER
ACCOUNTS PAYABLE
JANUARY 13, 2016

PG 3

Check Date	Check	Vendor Name	Description	Amount
01/13/2016		ACCUSHRED, LLC	CITY SHREDDING SERVICES	\$ 55.00
01/13/2016	20088	ADKISON, NEED & ALLEN P.L.L.C.	CITY ATTORNEY CONTRACT	\$ 1,171.50
01/13/2016	20089	ANDERSON, ECKSTEIN & WESTRICK	ENGINEERING SERVICES	\$ 993.55
01/13/2016	20090	ARROW UNIFORM RENTAL	MAT RENTALS AND JANITORIAL SUPPLIES	\$ 707.18
01/13/2016	20091	BOARD OF WATER COMMISSIONERS	IWC CHARGES FOR NOVEMBER 2015	\$ 418.00
01/13/2016	20092	BOSTON MUTUAL LIFE INS. CO.-G	HEALTH CARE BENEFITS	\$ 170.50
01/13/2016	20093	BRILAR	DPW CONTRACTED SERVICES	\$ 37,861.31
01/13/2016	20094	CARLA KRZYSLAK	YOGA INSTRUCTION CLASSES	\$ 665.60
01/13/2016	20095	CITY OF BERKLEY	NOVEMBER PRISONER BOARD	\$ 3,484.61
01/13/2016	20096	CITY OF FERNDALE	FIRE CONTRACT PAYMENT	\$ 21,381.72
01/13/2016	20097	CITY OF PLEASANT RIDGE-GENERAL	CITY UTILITIES	\$ 2,263.98
01/13/2016	20098	CITY OF ROYAL OAK	WATER AND SEWER MAINTENANCE	\$ 475.88
01/13/2016	20099	DETROIT EDISON COMPANY	COMMUNITY STREET LIGHTING	\$ 2,982.81
01/13/2016	20100	DOMINIC CARDELLI	REISSUE OF PAYROLL CHECK #1439	\$ 116.73
01/13/2016	20101	EUGENE LUMBERG	CITY ATTORNEY CONTRACT	\$ 593.75
01/13/2016	20102	GREAT AMERICA	TELEPHONE SERVICES	\$ 433.00
01/13/2016	20103	INTERMEDIA.NET INC.	TELEPHONE SERVICES	\$ 123.32
01/13/2016	20104	J & J AUTO TRUCK CENTER	POLICE CAR MAINTENANCE AND REPAIRS	\$ 48.00
01/13/2016	20105	JANI-KING OF MICHIGAN, INC	JANITORIAL CLEANING CONTRACT	\$ 2,161.00
01/13/2016	20106	KANSAS STATE BANK	FITNESS EQUIPMENT LEASE	\$ 13,457.00
01/13/2016	20107	LEGAL SHIELD	PRE PAID LEGAL SERVICES	\$ 25.90
01/13/2016	20108	MOM2MOMLIST.COM	SPECIAL RECREATION PROGRAM	\$ 23.00
01/13/2016	20109	NYE UNIFORM	POLICE UNIFORM PURCHASES	\$ 31.50
01/13/2016	20110	O'REILY AUTO PARTS	POLICE CAR MAINTENANCE	\$ 49.98
01/13/2016	20111	OAKLAND COUNTY CLERKS ASSOC.	2016 MEMBERSHIP DUES- DREALAN	\$ 25.00
01/13/2016	20112	SOCRRA	REFUSE COLLECTION CONTRACT	\$ 7,897.34
01/13/2016	20113	STREET CRIMES	POLICE TRAINING AND SEMINARS	\$ 399.00
01/13/2016	20114	TOSHIBA FINANCIAL SERVICES	COPIER LEASES	\$ 1,004.30
01/13/2016	20115	VERIZON	WIRELESS SERVICES	\$ 105.16
01/13/2016	20116	VINCE RIZZO	ELECTION DINNER AND 50+ DINNER	\$ 540.00
01/13/2016	20117	WETMORE TIRE AND AUTO	POLICE CAR MAINTENANCE AND REPAIRS	\$ 1,099.52
01/13/2016	20118	WEX BANK	FUEL PURCHASES FOR POLICE CARS	\$ 704.71
01/13/2016	20119	ZOGICS	WELLNESS CENTER SUPPLIES	\$ 207.40

Total for 1/13/2016

\$ 101,677.25

CITY OF PLEASANT RIDGE CHECK REGISTER
ACCOUNTS PAYABLE
JANUARY 28, 2016

PG 4

Check Date	Check	Vendor Name	Description	Amount
01/28/2016		ALBANA KOKA	HISTORICAL MUSEUM CLEANING	\$ 50.00
01/28/2016	20121	ANDERSON, ECKSTEIN & WESTRICK	ENGINEERING SERVICES	\$ 6,645.50
01/28/2016	20122	ARROW UNIFORM RENTAL	MAT RENTALS AND JANITORIAL SUPPLIES	\$ 753.69
01/28/2016	20123	BLUE CROSS BLUE SHIELD OF MICHIGAN	HEALTH CARE BENEFITS	\$ 26,721.66
01/28/2016	20124	BOARD OF WATER COMMISSIONERS	ICW CHARGES-DEC 2015	\$ 418.00
01/28/2016	20125	CARLA KRZYSIAK	YOGA INSTRUCTION	\$ 473.60
01/28/2016	20126	CITY OF BERKLEY	PRISONER BOARD	\$ 90.00
01/28/2016	20127	COMMUNITY MEDIA NETWORK	CITY COMMISSION MEETING RECORDING	\$ 200.00
01/28/2016	20128	CONSUMERS ENERGY	CITY UTILITY SERVICES	\$ 1,125.36
01/28/2016	20129	EGT GROUP, INC	NEWSLETTER PRINTING	\$ 2,128.94
01/28/2016	20130	GLENN FEARN	UNIFORM REIMBURSEMENT	\$ 63.58
01/28/2016	20131	HARLEY EILLIS	COMPLETE STREETS/STORMWATER STUDY	\$ 3,993.43
01/28/2016	20132	ICMA RETIREMENT CORPORATION	ANNUAL MEMBERSHIP RENEWAL	\$ 250.00
01/28/2016	20133	J & J AUTO TRUCK CENTER	POLICE VEHICLE MAINTENANCE	\$ 617.38
01/28/2016	20134	LEGAL SHIELD	PRE PAID LEGAL SERVICES	\$ 25.90
01/28/2016	20135	LIVING LAB	GAINSBORO PARK CONCEPT PLAN	\$ 6,745.96
01/28/2016	20136	MAT COURT RECORDING	CITY COMMISSION MEETING MINUTES	\$ 75.00
01/28/2016	20137	MICH.MUNICIPAL WORKER'S COMP.	WORKERS COMPENSATION FUND	\$ 1,952.00
01/28/2016	20138	MICHIGAN ASSOC. OF MAYORS	MEMBERSHIP DUES - K. METZGER	\$ 85.00
01/28/2016	20139	MICHIGAN MUNICIPAL LEAGUE	Q-4 2015 UNEMPLOYMENT CONTRIBUTION	\$ 10.50
01/28/2016	20140	OAKLAND COUNTY TREASURER	SEWAGE TREATMENT - DECEMBER 2015	\$ 47,672.35
01/28/2016	20141	OAKLAND SCHOOLS	2015 WINTER TAX BILL PROCESSING	\$ 448.19
01/28/2016	20142	OCAAO	BOARD OF REVIEW TRAINING LUNCHEON	\$ 22.00
01/28/2016	20143	PAM KAMPF	PILATES CLASS	\$ 576.00
01/28/2016	20144	PLANTE & MORAN PLLC	ACCOUNTING SERVICES	\$ 5,339.00
01/28/2016	20145	PRINTING SYSTEMS, INC.	ELECTIONS SUPPLIES	\$ 46.13
01/28/2016	20146	RAY KEE	BUILDING INSPECTOR SERVICES	\$ 1,350.00
01/28/2016	20147	SOLTMAN HEATING & COOLING	BUILDING MAINTENANCE REPAIRS	\$ 1,346.95
01/28/2016	20148	SOCRRA	REFUSE COLLECTION CONTRACT	\$ 15,020.34
01/28/2016	20149	SOCWA	WATER PURCHASES DEC 2015	\$ 12,152.48
01/28/2016	20150	STATE OF MICH.-DEPT.OF TREAS.	2015 ANNUAL SALES TAX RETURN	\$ 6.23
01/28/2016	20151	THE ENERGY ALLIANCE GROUP MICHIGAN	RECREATION CENTER ROOF INSTALLATION	\$ 12,879.50
01/28/2016	20152	WEB MATTERS BY KRISTIE	WEBSITE HOSTING FOR JANUARY 2016	\$ 24.95

Total For 1/28/2016

\$ 149,309.62



City of Pleasant Ridge

Amy M. Drealan, City Clerk

From: Amy M. Drealan, City Clerk
 To: Mayor and City Commission
 Date: February 9, 2016
 Re: Junior Commission Appointments

The City of Pleasant Historical Commission, Planning Commission/DDA and Recreation Commission currently have vacancies. I have included an item on the agenda for City Commission consideration to fill these vacancies. The prospective applications are attached to this memorandum.

Historical Commission

The Historical Commission has one opening as Ms. Carole Zupan served two full terms. There were four applications received for the Pleasant Ridge Historical Commission. After consideration, the recommendation is to appoint Mr. Douglas Mooney to his first full term, term to expire December 31, 2018.

Planning Commission/Downtown Development Authority

The Planning Commission/DDA has two openings as Mr. Mike Decoster and Mr. Dave Laidlaw have both served two full terms. There were four applications received for the Pleasant Ridge Planning Commission/DDA. After consideration, the recommendation is to appoint Mr. Thomas Treuter and Mr. Kevin Barlow to their first full terms, term to expire December 31, 2018.

Recreation Commission

The Recreation Commission has one opening as Mr. Kevin Kelly served two full terms. There was one application received for the Pleasant Ridge Recreation Commission. After consideration, the recommendation is to appoint Ms. Esther Winer to her first full term, term to expire December 31, 2018.

Please feel free to contact me should you wish to discuss this matter further.



Historical

City of Pleasant Ridge

Candidate Questionnaire

Name:

Douglas Mooney

Date:

11/25/2015

Pleasant Ridge Resident For (years):

3

Occupation:

IT Manager - General Motors

Commissions On Which You Want to Serve (please check all applicable boxes):

☐ Board of Review

☒ Historical Commission

☐ Planning Commission

☐ Recreation Commission

☐ Zoning Advisory Committee

☐ Huntington Woods Library Board

Interests/Reasons/Qualifications

I have an interest in history and technology and enjoy research. I also have an interest in the history of the city and its homes and in historic preservation.

Boards/Commissions/Committees on Which You Have Served (list municipalities and dates)

n/a

Other Organizations

n/a

Education

Attended College for Creative Studies

Additional Information

I am a fourth generation Pleasant Ridge resident. Two sets of my great grandparents lived on Norwich. Their children married and built a home on Maplefield where my mother was raised. I am married with twin girls.



JAN 08 2015

CITY OF PLEASANT RIDGE

Planning/DDA

City of Pleasant Ridge

Candidate Questionnaire

Name: TOM TREUTER	
Date: 1/7/15	Pleasant Ridge Resident For (years): 31
Occupation: PHOTOGRAPHER	

Commissions On Which You Want to Serve (please check all applicable boxes):

- | | |
|---|---|
| <input type="checkbox"/> Board of Review | <input type="checkbox"/> Recreation Commission |
| <input type="checkbox"/> Historical Commission | <input type="checkbox"/> Zoning Advisory Committee |
| <input checked="" type="checkbox"/> Planning Commission | <input type="checkbox"/> Huntington Woods Library Board |

Interests/Reasons/Qualifications

MY INTEREST IN PLANNING COMMISSION IS BORNE FROM MY VESTED INTEREST TO PRESERVE THE CHARACTER OF P.R. THROUGH ITS HOME AND BUSINESS STRUCTURES. THE DDA, AS P/DDA MEMBER COMMISSIONERS KNOW, IS ROOTED IN MY EXPERIENCES AS A BUSINESS OWNER AND CONSULTING WORK IN MARKETING AND COMMUNICATIONS.

Boards/Commissions/Committees on Which You Have Served (list municipalities and dates)

P.R. -
CITIZEN'S ADVISORY COMMITTEE - FEB. '14 - JUNE '14
REVIEW BOARD 2014

Other Organizations

MICHIGAN HEALTHCARE COMMUNICATORS ASSOCIATION
OPHTHALMIC PHOTOGRAPHERS SOCIETY

Education

ASSOCIATES - APPLIED SCIENCES - OCC
ATTENDED - OAKLAND UNIVERSITY.

Additional Information

THERE ARE SITTING COMMISSIONERS WHO WOULD LIKELY NOT WELCOME ME TO THEIR COMMISSION. I WOULD HOPE THAT THE DIVERSITY OF OPINION AND PERSPECTIVE WOULD INSTEAD BE ENTERTAINED. THE DDA HAS FOR TOO LONG MERELY BEEN AN EXTENSION OF THE P.C. I WOULD PROPOSE AN EXPANSION OF THE SCOPE OF INPUT AND DIVERSITY OF PERSPECTIVE SO OUR LOCAL BUSINESSES HAVE A BETTER OPPORTUNITY TO CONTRIBUTE TO PRRS INITIATIVES.



PLANNING IDDA
City of Pleasant Ridge
Candidate Questionnaire

Name: Kevin Barlow	
Date: 01/07/2015	Pleasant Ridge Resident For (years): 12 Years
Occupation: Consultant	

Commissions On Which You Want to Serve (please check all applicable boxes):

- | | |
|---|---|
| <input type="checkbox"/> Board of Review | <input type="checkbox"/> Recreation Commission |
| <input checked="" type="checkbox"/> Historical Commission | <input type="checkbox"/> Zoning Advisory Committee |
| <input checked="" type="checkbox"/> Planning Commission | <input type="checkbox"/> Huntington Woods Library Board |

Interests/Reasons/Qualifications

I enjoyed working on similar activities when I was involved with New Center Council and would like utilize what I have have learned closer to home. While we have a small "downtown" area I think its important to manage its growth properly and make any development a win-win for the business owner and the city. Additionally, I manage a very small (family owned) multi tenant industrial property in Indianapolis and have an appreciation for the business owner and land lord perspectives related to zoning and development.

Boards/Commissions/Committees on Which You Have Served (list municipalities and dates)

None to Date.

Other Organizations

TechTown Detroit, Volunteer - 2014
New Center Council, Board Member 2005-2010
Great Lakes Chamber Music, Board Member 2005-2009
United Way of Oakland County, Board Member 2005-2006
The Village, Board Member 2000 - 2003

Education

B.A. University of Michigan - Dearborn

Additional Information

--



Recreation

City of Pleasant Ridge

Candidate Questionnaire

Name: <u>ESTHER WINER</u>	
Date:	Pleasant Ridge Resident For (years): <u>1985 TO PRESENT (30 YRS)</u>
Occupation: <u>RETIRED</u>	

Commissions On Which You Want to Serve (please check all applicable boxes):

- | | |
|--|---|
| <input type="checkbox"/> Board of Review | <input checked="" type="checkbox"/> Recreation Commission |
| <input type="checkbox"/> Historical Commission | <input type="checkbox"/> Zoning Advisory Committee |
| <input type="checkbox"/> Planning Commission | <input type="checkbox"/> Huntington Woods Library Board |

Interests/Reasons/Qualifications

PLANNING EVENTS AND ACTIVITIES FOR ADULTS. IN CHARGE OF PLANNING ACTIVES, FUN EVENTS, FIELD TRIPS FOR 900 SENIOR RESIDENTS FROM MEER, HECHTMAN, PRENTIS AND TEITEL APTS WHILE EMPLOYED AS COMMUNITY OUTREACH COORDINATOR IN THE MARKETING DIVISION, AS WELL AS RAISED FUNDS FOR BOARDS/COMMISSIONS/COMMITTEES ON WHICH YOU HAVE SERVED (list municipalities and dates)

BUILDERS ASSOCIATION - DEVELOPED THESE EVENTS SECRETARIES COMMITTEE TO EDUCATE BUILDERS, SECRETARIES IN CLASS SETTING TO INTRODUCE BUILDERS VOCABULARIES

Other Organizations

AARP, HW SENIOR CENTER, PLEASANT RIDGE CENTER, KULICK SR. CENTER (FERNDALE)

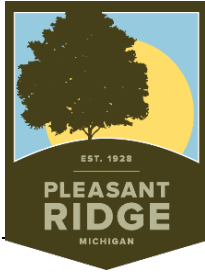
Education

2 YRS. COLLEGE IN BUSINESS ADMINISTRATION

Additional Information

ROOM MOTHER CHAIRMAN FOR CHILDRENS' ELEMENTARY, LECTURER FOR WEIGHT WATCHERS, SINAI HOSPITAL TORCH DRIVE REPRESENTATIVE

WON GRANT FOR JEWISH APTS AND SERVICES WHILE COMMUNITY OUTREACH COORDINATOR



City of Pleasant Ridge

James Breuckman, City Manager

From: Jim Breuckman, City Manager
 To: City Commission
 Date: February 4, 2016
 Re: Ordinance 414 – Zoning Ordinance Amendment Consideration

Overview

Attached is a zoning amendment that would eliminate the neighborhood compatibility language in Section 82-166 and replace it with a reference to the new Exterior Design Standards. Also proposed are amendments to the M Manufacturing district and a restructuring of the zoning districts and permitted uses. The Planning Commission recommended approval of the proposed amendments and the exterior design standards at its December 14 meeting.

Requested Action

City Commission action on Ordinance 414.

Background

The proposed zoning ordinance amendment includes the following:

- Modifications to Ordinance Structure. The Zoning Ordinance currently contains separate sections for each zoning district that lay out the purpose, permitted uses, and development standards (i.e. dimensional requirements) for that district. There are also tables that summarize the uses permitted in all districts, and a schedule of regulations that summarizes the dimensional standards for all zoning districts.

The proposed revision that would eliminate the separate sections for each zoning district (Sections 82-133 through 82-140) is intended to eliminate duplicative effort within the Zoning Ordinance. Instead of having use standards and dimensional standards listed in multiple places, there will be one table of permitted uses in Section 82-133, a consolidated list of district purpose statements in Section 82-103, and dimensional standards will be found solely in Section 82-164.

The use table contained in Section 82-133 of the proposed amendment is substantially the same as existing with the following changes:

Terminology updates - i.e. “Dwelling unit, attached” instead of “attached or clustered residential condominiums”

Elimination of duplicity – i.e. there is no need to define antique stores, apparel stores, flower shops, office supply stores, etc. in the C district. Instead, we can simply say “retail sales

inside a completely enclosed building.” Similarly, the manufacturing and assembly uses in the W district have been streamlined into one category instead of multiple ones.

- Change M – Manufacturing to W – Workplace District. The amendments to the M district are intended to broaden the range of potential uses that may be permitted in the area along ePrize Drive. As shown by ePrize/Hello World’s choice of that location for over a decade, the area has the ability to attract uses that go far beyond manufacturing and industrial uses. The proposed amendment broadens the range of uses beyond manufacturing and industrial to include a variety of uses that include craft manufacturing, retail sales, and even residential. The location of the M district along 10 Mile/696 at Bermuda make it an ideal location for this type of mixed use.
- Change How Manufacturing Uses are Listed. Currently the ordinance lists a variety of types of manufacturing uses. Instead of trying to identify what kinds of manufacturing uses are permitted, which are special land uses, and which are prohibited descriptively, the proposed amendment would rely upon North American Industrial Classification System (NAICS) codes. This simplifies the ordinance but achieves the same ability to discriminate between low and high impact industrial uses and how they are regulated or prohibited.
- Zoning Map Updates to rezone 99 Kensington from R-1D to PRM, to rezone Roosevelt School properties from R-1D to PRM, and to change the zoning designation from M Manufacturing to W Workplace for all properties currently zoned M.
- Neighborhood Compatibility Update. The proposed amendment to Section 82-166 would replace the existing subjective neighborhood compatibility standards with an adoption by reference to a new objectively stated Exterior Design Standards.

Proposed Exterior Design Standards

Please refer to the attached exterior design standards agenda summary for a more detailed explanation of what is being proposed.



City of Pleasant Ridge
Ordinance No. 414

AN ORDINANCE TO AMEND THE PLEASANT RIDGE ZONING ORDINANCE, SECTION 82-3 DEFINITIONS, SECTION 82-98 DISTRICTS ESTABLISHED, SECTION 82-102 DISTRICT REQUIREMENTS, SECTION 82-103 ZONING DISTRICT PURPOSE STATEMENTS, SECTION 82-133 PERMITTED USES BY DISTRICT, SECTION 82-164 YARD AND BULK REQUIREMENTS, SECTION 82-166 NEIGHBORHOOD COMPATIBILITY, and ZONING MAP AMENDMENTS

THE CITY OF PLEASANT RIDGE HEREBY ORDAINS:

Section 1. Section 82-3. Definitions is amended to add the following definition:

Manufacturing Use. The processing of materials from pre-made components or materials that does not include the use of large quantities of toxic, hazardous, or explosive materials. This use category excludes uses that qualify as Hazardous Group H occupancy under the Michigan Building Code. This definition includes all uses or products in the following NAICS groups. Any use in a 31-33 Manufacturing NAICS group that is not listed below is not considered part of the group of defined allowable uses:

- a. 311 Food Manufacturing (except 311311 Sugercane Mills, 311312 Cane Sugar Refining , 311313 Beet Sugar Manufacturing, 311611 Animal (except poultry) Slaughtering, 311613 Rendering and Meat Byproduct Processing)
- b. 312111 Soft Drink Manufacturing
- c. 312112 Bottled Water Manufacturing
- d. 313 Textile Mills
- e. 314 Textile Product Mills
- f. 315 Apparel Manufacturing
- g. 316 Leather and Allied Product Manufacturing
- h. 321 Wood Product Manufacturing (except 321114 Wood Preservation)
- i. 322 Paper Manufacturing (except 32211 Pulp Mills, 322121 Paper (except newsprint) Mills, 322122 Newsprint Mills, and 32213 Paperboard Mills)
- j. 323 Printing and Related Support Activities
- k. 326 Plastics and Rubber Products Manufacturing (except 326211 Tire Manufacturing)

- l. 332 Fabricated Metal Product Manufacturing (except 332111 Iron and Steel Forging and 332112 Nonferrous Forging)
- m. 333 Machinery Manufacturing
- n. 334 Computer and Electronic Product Manufacturing
- o. 335 Electrical Equipment, Appliance, and Component Manufacturing
- p. 337 Furniture and Related Product Manufacturing
- q. 339 Miscellaneous Manufacturing

See: <http://www.census.gov/eos/www/naics/index.html> for a description of listed NAICS categories.

Section 2. Section 82-98. Districts Established, (2) Non-Residential Districts is hereby amended to delete M Manufacturing and replace it with W Workplace.

Section 3. Section 82-102. District Requirements is hereby amended to delete the Regulated Uses Table.

Section 4. Section 82-103. Zoning District Purpose Statements is added to read as follows:

- a. R-1 Single Family Districts. The Single Family Residential Districts are established as districts which the principal use of land is for single family dwellings and are intended to be the most restrictive of the residential districts. For the single family residential districts, promoting the general purpose of this ordinance, the specific intent of this Article is to encourage the construction of, and the continued use of, the land for single family dwellings and to prohibit business, commercial or industrial use of the land, and to promote any other use which would not significantly interfere with development or continuation of single family dwellings in the district.
- b. R-2 Two Family Residential District. The Two Family Residential District is established as a district in which the principal use of land is for single and two family dwellings. The general purpose of this Article is to encourage the construction, conversion and continued use of the land for single family and two family dwellings and to prohibit business, commercial or industrial use of the land, and to promote any other use which would not significantly interfere with development or continuation of single family or two family dwellings in the district.
- c. RM Multiple Family Residential District. The Two Family Residential District is established as a district in which the principal use of land is for single and two family dwellings. The general purpose of this Article is to encourage the construction, conversion and continued use of the land for single family and two family dwellings and to prohibit business, commercial or industrial use of the land, and to promote any other use which would not significantly interfere with development or continuation of single family or two family dwellings in the district.
- d. RO Restrictive Office District. The Restricted Office District is intended to provide sites for professional office structures and related uses, which will generally serve as

zones of transition between nonresidential districts and lower density single family districts and do not generate large volumes of traffic congestion and parking.

- e. PRM Parks, Recreation and Municipal. The Parks, Recreation and Municipal District is to provide areas for the placement of public facilities to serve the cultural, educational, and recreational needs of the community at large, as well as, individual neighborhoods.
- f. C Commercial. The Commercial District is intended to provide areas for the operation of business and retail establishments that principally serve the residents of the community. Further, due to the commercial development of property along Woodward Avenue and the property constraints associated with this location, the character of business and retail establishments along Woodward Avenue should accommodate uses that require minimal off-street parking.
- g. W Workplace. The W, Workplace District is intended to accommodate a mixture of uses that are increasingly attracted to legacy industrial areas in older communities. The W, Workplace District is situated such that a range of manufacturing, assembling and fabrication operations that do not involve the processing of raw materials to be used in an industrial operation at another location, and that do not involve the use of fire, explosions, toxic or noxious matter, radiation, and other hazards, can be operated in a manner that restricts the external physical effects of the uses to the area of the district without impacting surrounding areas in a detrimental way.

The district may also accommodate a range of adaptive re-uses of existing buildings to accommodate office, research, wholesale, retail, and potentially residential uses.

- h. P Vehicular Parking. This section shall apply to the P district. The vehicular parking district is intended to permit the establishment of areas to be used for off-street vehicular parking of private passenger cars only, so as to benefit and serve office and commercial areas. This district is designed to afford maximum protection to adjacent residential areas by providing landscape setbacks, screening walls, and well-designed parking facilities. It is also intended that this district act as a transitional area between office and commercial areas and residential areas, thereby permitting private person as well as public agencies to provide needed off-street parking.

Section 5. Sections 82-133 through 82-140 are deleted in their entirety and replaced by the following:

Section 82-133. Permitted Uses by District

The following table lists the permitted uses in each district.

- (a) Whenever a specific development standard is included for a particular use in the permitted uses table, any development must comply with the requirements of the referenced section or standard.

(b) Uses that are not expressly permitted by the following table are prohibited unless a positive finding is made by the Planning Commission that the use which is not expressly permitted is not listed in any other Zoning District, and that the use which is not expressly permitted has characteristics sufficiently similar to uses that are permitted uses or special land uses in the zoning district in question. If the Planning Commission determines that both of the preceding criteria are met, it shall then determine if the use is more similar to principal or special land uses.

Key:	■ Permitted Use	● Special Land Use	[blank] Use Not Permitted						
USE	R-1	R-2	RM	RO	PRM	C	W	P	DEVELOPMENT STANDARDS
RESIDENTIAL USES									
Dwelling unit, attached			■				○		Each dwelling unit shall have its own direct entrance from the outside
Dwelling unit, one family detached	■	■	■						Includes site condominiums
Dwelling unit, two family		■	■						
Dwelling unit, apartment						■	○		In the C district: Only allowed on 2nd floor or above and shall meet minimum floor area requirement of RM district (footnote (7) of Section 82-164)
Dwelling unit, multiple family building			○				○		Section 82-197(b)(8)
Child care centers, nursery schools, day nurseries	○	○	○	○		○			Section 82-197(b)(2)
Congregate housing for the elderly			○						Section 82-197(b)(5)
Family child care home	■	■	■						Each dwelling unit shall have its own direct entrance from the outside
PUBLIC and SEMI-PUBLIC USES									
Churches or places of worship	○	○							Section 82-197(b)(4)
Group childcare homes	○	○		○		○			Section 82-197(b)(16)
Publicly owned and operated libraries	■	■	■	■		■			
Recreation, indoor facilities					■		■		
Passive open space	■	■	■	■	■	■	■	■	I.e. greenways and wooded areas, memorials, gardens, and arboreta
Recreation, outdoor public parks	○	○		○	■	○			Section 82-197(b)(13)
Schools	■	■	■	■	■	■			Primary or secondary education and not operated for profit
Schools, trade or industrial				○		○	■		
Utility and public service buildings	○	○		○	○	○	○		Section 82-197(b)(15)
Utility yards, electrical transformer stations and substations, gas regulator stations.							○		Section 82-197(b)(11)
RETAIL, OFFICE and INDUSTRIAL USES									
Automobile service station or oil change establishment						○			Section 82-197(b)(1)
Funeral homes				■		■			Including living quarters for owner
Manufacturing and processing							■		See definition of manufacturing and processing in Section 82-3
Offices, governmental				○	○	○	■		Section 82-197(b)(14)
Offices, medical and dental				○		○	■		Section 82-197(b)(7)
Offices, professional				■		■	■		Section 82-197(b)(3)
Open air business							○		Section 82-197(b)(10)
Open storage facilities							○		Section 82-197(b)(11)

Key:	■ Permitted Use	● Special Land Use	[blank] Use Not Permitted						
USE	R-1	R-2	RM	RO	PRM	C	W	P	DEVELOPMENT STANDARDS
Research and testing							■		
Restaurants						○	■		
Restaurant accessory outdoor dining area						○	■		Section 82-197(b)(17)
Retail sales						■	■		In a completely enclosed building
Retail sales, neighborhood with “SDM” and “SDD” sales						○	■		Section 82-197(b)(9)
Warehousing and wholesale							■		
ACCESSORY USES									
Accessory buildings and uses incidental to a permitted use	■	■	■	■	■	■	■		Includes swimming pools, subject to the standards of Section 82-197(b)(12)
Accessory off-street parking			■	■	■	■	■	■	Shall meet the requirements of Section 82-195
Home occupation (craft/fine arts)	■	■	■						
Home occupation (business)	○	○	○						Section 82-197(b)(6)

Sections 82-134-82.163. Reserved

Section 6. Section 82-164 Yard and Bulk Requirements is hereby amended to:

- change the M column heading to W,
- change the maximum height for a principal building in the W district from 40 to 60 feet,
- change the minimum front setback in the W district from 30 to 10 feet,
- change the minimum side (one) yard setback in the W district from 30 to 10 feet, and
- change the minimum side (total) setback in the W district from 60 to 40 feet.

Section 7. Section 82-166 Neighborhood Compatibility is deleted in its entirety and replaced by the following:

Section 82-166 Exterior Design Standards

The construction of any new structure requiring a building permit or modification to an existing structure that exceeds 25% of the area of the existing building shall conform to the requirements of the City's Exterior Design Standards as adopted by the City Commission.

Section 8. Zoning Map. The Zoning Map is amended to change the zoning designation of the following parcels:

Parcel	Address	Previous Zoning	Amended Zoning
25-271-26-038	99 Kensington	R-1D	PRM
25-271-27-009	404 E. 10 Mile Rd.	M	W
25-271-27-010	660 E. 10 Mile Rd.	M	W
25-271-27-012	400 E. 10 Mile Rd.	M	W

25-271-27-013	660 E. 10 Mile Rd.	M	W
25-282-79-001	2610 Pinecrest	R-1C	PRM
25-282-79-002	2610 Pinecrest	R-1C	PRM
25-282-79-003	2610 Pinecrest	R-1C	PRM
25-282-79-004	2610 Pinecrest	R-1C	PRM
25-282-79-005	2610 Pinecrest	R-1C	PRM
25-282-79-006	2610 Pinecrest	R-1C	PRM

Section 9. Severability – This ordinance and each article, section, subsection, paragraph, subparagraph, part, provision, sentence, word and portion thereof are hereby declared to be severable, and if they or any of them are declared to be invalid or unenforceable for any reason by a court of competent jurisdiction, it is hereby provided that the remainder of this ordinance shall not be affected thereby.

Section 10. Repeal and Effective Date

Repeal – All regulatory provisions contained in other City ordinances which are inconsistent with the provisions of this ordinance are hereby repealed.

Effective Date - This Ordinance shall be effective fifteen days after enactment and upon publication.

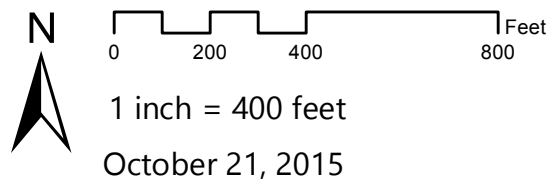
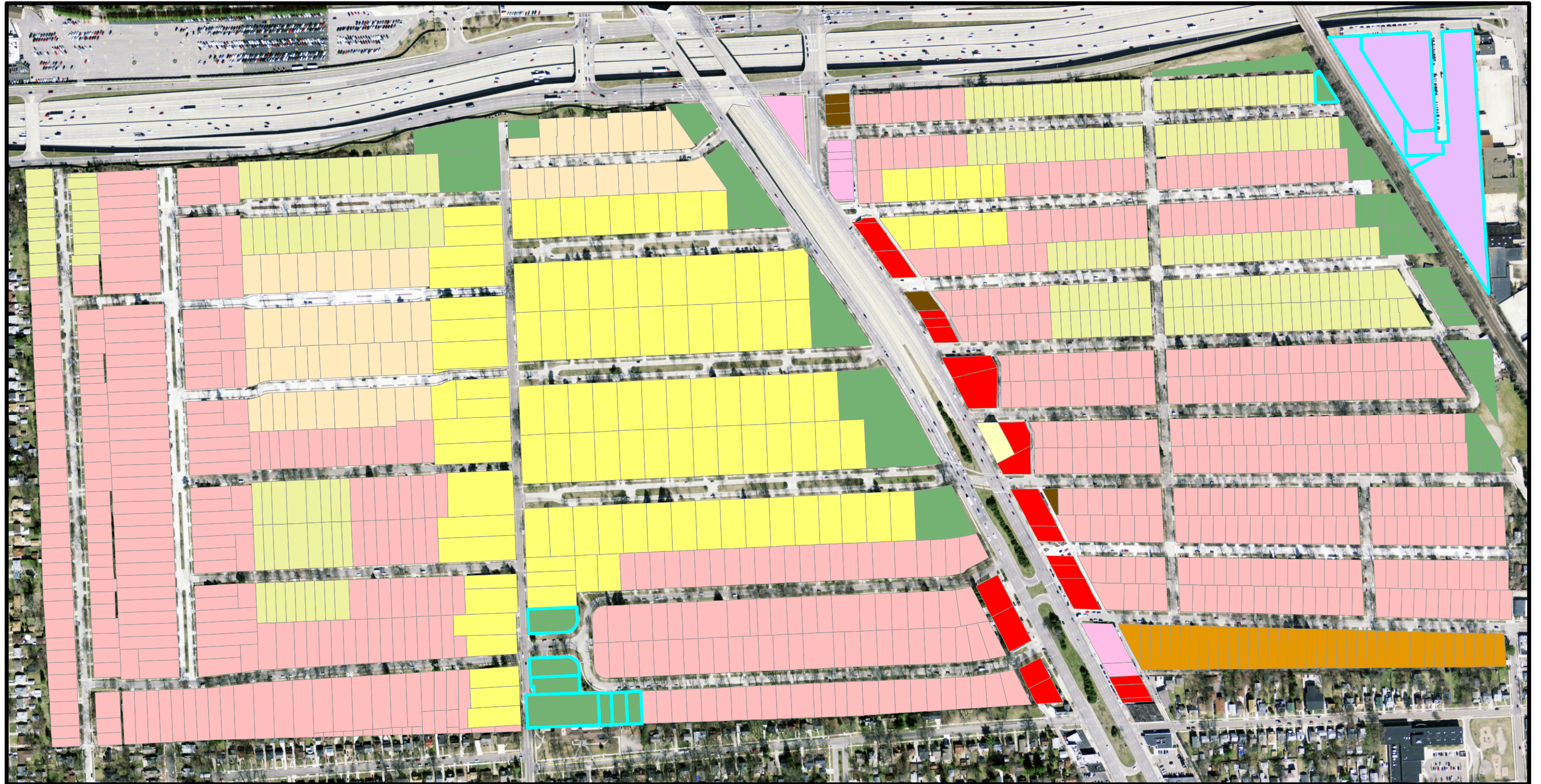
Certificate

I hereby certify that the foregoing ordinance was adopted by the City Commission of the City of Pleasant Ridge at a meeting thereof on _____

Amy M. Drealan, City Clerk
City of Pleasant Ridge

Planning Commission Public Hearing:Monday, _____
Planning Commission Recommendation:Monday, _____
City Commission Introduction:Tuesday, _____
City Commission Public Hearing:Tuesday, _____
City Commission Adoption:Tuesday, _____
Published:Sunday, _____
Effective:Tuesday, _____

Zoning



Zoning Districts

■ C	■ PRM	■ R-1B
■ RO	■ RM	■ R-1C
■ W	■ R2	■ R-1D
■ P	■ R-1A	





City of Pleasant Ridge

James Breuckman, City Manager

From: Jim Breuckman, City Manager
 To: City Commission
 Date: February 4, 2016
 Re: Exterior Design Standards

Overview

Pleasant Ridge has a strong architectural character. The City was developed largely between 1910 and 1930, which was a period of architectural transition. During that time, new construction methods and materials were changing how buildings were built, and also opening up new possibilities for architecture.

The City has long recognized that preserving our traditional architectural character is an important task. For this reason the Neighborhood Compatibility requirements were adopted into Section 82-166 of the Zoning Ordinance. However, the neighborhood compatibility standards are subjective, and do not offer specific guidance on what it is that Pleasant Ridge expects for the design and construction of new buildings.

Attached is a new style-neutral set of exterior design standards that would regulate new construction and significant additions to ensure that new buildings are compatible in scale and design with the established character of Pleasant Ridge.

The reason for proposing the attached design standards is not to expand regulation, but rather to make our existing method of regulation more clear, objective, and easily understood.

Requested Action

If Ordinance 414 is adopted, the requested action is adoption of the exterior design standards.

Current Standards

The current method for regulating exterior design is the Neighborhood Compatibility requirements of Section 82-166 of the Zoning Ordinance. That section reads as follows:

Section 82-166. Neighborhood Compatibility. Any new construction or modification to an existing structure, which exceeds 25% of the principal building, shall conform in size, bulk, and dimensional characteristics of adjacent properties within 500 feet of the subject property. The review shall be limited to:

- (1) Building height.
- (2) Lot frontage and size.

- (3) Lot width at the right-of-way.
- (4) Building entrances.
- (5) Building placement on the lot, including setbacks and distances between buildings.
- (6) Architectural compatibility with surrounding properties in the same neighborhood.
- (7) Intensity and dimensional characteristics compatible with surrounding properties in the same neighborhood.
- (8) Utilization of similar materials.

The Zoning Inspector shall conduct the review. The determination of compliance rendered by the Zoning Inspector may be appealed to the Board of Appeals.

Comparison of Current to Proposed Standards

Applicability

The same applicability requirement was kept in the new design standards - any new construction or modification to an existing structure which exceeds 25% of the principal building triggers compliance. Activities which fall below this threshold are exempted from compliance. This ensures that the design standards do not expand the scope of regulation. Homeowners who are doing maintenance to their homes will not be required to do anything except what they so choose as a result of these design standards, just as they are not required to do so today.

Subjective vs. Objective

The proposed standards run to about 13 pages long. However, this is because the new standards endeavor to objectively lay out the City's expectations and requirements rather than using subjective language. Currently it is up to the designer and the Zoning Inspector to determine what constitutes compatibility in terms of *"building entrances,"* or *"architectural compatibility with surrounding properties in the same neighborhood,"* or *"intensity and dimensional characteristics compatible with surrounding properties in the same neighborhood,"* or *"utilization of similar materials."*

As a though exercise, I ask that you take a moment and try to define what exactly "architectural compatibility with surrounding properties" means. I would hazard a guess that there would be 9 different answers from 9 different Planning Commissioners. This means that the determination is left to the judgment of the reviewing official without sufficient basis for how to make the determination.

Actually going through the exercise of setting forth our expectations for the many and varied elements of building design requires that the standards be comprehensive. It also means that the standards have to account for all of the common elements that go into a building, even though not every building will have all of the elements that are included in the design standards. For instance, we have standards for dormer windows, even though not every building has dormer windows. There is also page and a half dealing with headers over building openings with masonry veneer walls, which will not apply to buildings which are finished in stucco or wood siding.

Clarity of Expectations

The purpose of these design standards is to create a clear, objective, written set of standards so that the City can have a consistency of expectations, regulatory decisions, and results.

The objectives of this process are to ensure that buildings constructed here are compatible with what exists; that new buildings contribute positively to the established character of Pleasant Ridge; that designers who will be working in town know up front what is expected of them rather than having to guess what the City will deem compatible or not, and being forced through time consuming and costly rounds of revisions to building plans; and to provide a clear basis for regulatory decisions that is based on objective, adopted standards.

Building Materials

Perhaps the most notable requirement of the proposed design standards is limited vinyl siding to being an accent material on new construction or additions, although there is a mechanism to allow for building materials used on additions to match the existing material of the principal structure, which may allow for vinyl to be used on some additions which expand the size of the building by more than 25%.

In practice, the vast majority of houses in Pleasant Ridge were constructed before aluminum siding was introduced in the 1940s and vinyl siding was introduced in the 1950s. This means that the original siding material used on most non-masonry houses in Pleasant Ridge was wood. Many homes in Pleasant Ridge still have wood siding.

Today there are synthetic materials that convincingly replicate wood, and that have a similar tactile feel as wood. Cementitious fiber board products can be painted, do not rot, and “knock” the same as wood. These products should be used on new construction. While they do cost more up-front, the life-cycle cost will be equivalent to vinyl as they last longer and are more durable than vinyl. There is also the community benefit of a higher-quality visual and tactile feel to these products.

Requiring new construction to use these products does represent an immediate cost impact, however, as a practical matter most new construction in the City is already using these products instead of vinyl. At the price point necessary to build in Pleasant Ridge, it is typically an expectation that the house will not be finished in vinyl. Further, cementitious siding products have a longer life span and thus, the costs for such materials are comparable to vinyl over the full life-cycle of each product. For these reasons staff believes that prohibiting vinyl siding except as an accent material on new construction will better uphold the concept of neighborhood compatibility than would allowing vinyl siding.

It is important to note that these design standards will not require any existing homeowner who wishes to replace existing aluminum or vinyl siding with vinyl siding. The standards as written would prohibit a homeowner from replacing existing wood siding with vinyl siding.

Allowance for Modern Styles

The design standards do not specify style. This means that modern or contemporary styled houses may be built so long as they meet the applicable requirements of the standards.

Appeals

The new design standards establish the Planning Commission as the appeals body for any decision of the Zoning Inspector, and the Zoning Board of Appeals as the appeals body for any decision of the Planning Commission. This ensures that there are appeals routes available to any applicant should they disagree with a decision of the City.



City of Pleasant Ridge Exterior Design Standards

Adopted , 2016

City of Pleasant Ridge Exterior Design Standards

Recommended by the Planning Commission _____, 2015

Adopted by the City Commission _____, 2015

Table of Contents

Table of Contents..... i

Resolution of Recommendation..... ii

Resolution of Adoption ii

1. Introduction 1

 1.1 Purpose..... 1

 1.2 Style Neutrality 1

 1.3 Neighborhood Compatibility: Basis of the Design Standards..... 1

 1.4 Foundations of Traditional Design 1

 1.5 Principles..... 2

2. Administrative Procedures 4

 2.1 Basis 4

 2.2 Interrelation with Other Laws or Codes..... 4

 2.3 Applicability of Standards 4

 2.4 Review Procedure and Authority 5

 2.5 References 5

3. Architectural Design Standards 7

 3.1 Massing and Composition 7

 3.2 Walls 8

 3.3 Header Elements for Openings in Masonry Walls..... 10

 3.4 Windows 12

 3.5 Eaves and Gable Ends 13

 3.6 Roofs..... 13

 3.7 Columns and Column Spacing..... 14

 3.8 Dormers..... 15

 3.9 Attachments 16

4. Definitions..... 17

Resolution of Recommendation

MOTION by _____, seconded by _____, the Pleasant Ridge Planning Commission decrees:

WHEREAS, on _____ the Planning Commission of the City of Pleasant Ridge recommended approval of amendments to Section 82-166 of the Zoning Ordinance to the City Commission.

WHEREAS, Section 82-166 references building design standards establishing criteria for the review of building design and architecture. The adoption of the ordinance amendment creates the need for comprehensive guidelines by which to evaluate development and design proposals.

NOW THEREFORE BE IT RESOLVED that the Pleasant Ridge Planning Commission hereby recommends at its meeting on _____ that the Pleasant Ridge City Commission adopt the Exterior Design Standards.

Resolution of Adoption

MOTION by _____, seconded by _____, the Pleasant Ridge City Commission decrees:

WHEREAS, on _____ the City Commission of the City of Pleasant Ridge adopted amendments to Section 82-166 of the Zoning Ordinance.

WHEREAS, Section 82-166 references exterior design standards establishing criteria for the review of building design. The adoption of the ordinance amendment creates the need for comprehensive guidelines by which to evaluate development and design proposals.

WHEREAS, that the Planning Commission of the City of Pleasant Ridge recommended approval of the Exterior Design Standards effective at its meeting on _____

NOW THEREFORE BE IT RESOLVED that the Pleasant Ridge City Commission hereby adopts the Exterior Design Standards at its meeting on _____, effective _____.

Voice vote:

Ayes:

Nays:

Absent:

MOTION CARRIED

1. Introduction

1.1 Purpose

The purpose of these design standards is to provide for harmonious and aesthetically pleasing development within the City of Pleasant Ridge. Nearly the entire City is located in a Federal Historic District. The City has not created a State Historic District which would allow for the creation of a Historic District Commission with review powers. Instead, these Design Standards serve as the City's regulatory document to ensure that new construction is compatible with the City's existing and historic character. These design standards are intended to provide clear guidance to developers and architects working in the City as to the level of design expected for new and substantially renovated buildings.

1.2 Style Neutrality

These design standards are style-neutral and explicitly allow for the expression of individual creativity in architectural style. While the majority of buildings in Pleasant Ridge are designed in the classical tradition, modern styles do exist within the City and are permitted, so long as they are true representatives of the style and conform to the requirements of these design standards that universally apply.

1.3 Neighborhood Compatibility: Basis of the Design Standards

The City of Pleasant Ridge is defined by its traditional architectural character. The predominant styles in Pleasant Ridge are revival styles that were popular in the first decades of the 20th Century when over 95% of buildings were built here. For that reason, and in the interest of compatibility with Pleasant Ridge's existing character, these design standards include basic standards for all buildings to ensure that every building fits into the established neighborhood character, with a larger number of standards that apply to buildings that are designed in a traditional manner.

The limited number of requirements that are applicable to all buildings, regardless of style, are intended to ensure that all new buildings have a human scale and respect the fabric of Pleasant Ridge's urban neighborhood character. Most lots in the City are 50 feet wide or less, meaning that houses must be respectful of the context of the neighborhood and the streetscape to which they contribute.

The remainder of the design standards are focused on traditional design details. The core principle of this document is that if a building is designed in a traditional manner, the details should be executed properly. Anything worth doing is worth doing well.

1.4 Foundations of Traditional Design

Traditional design styles and details evolved for one of two purposes: structural or decorative. Contemporary building practices have taken many elements which used to be structural and turned them into decorative elements. For example, structural masonry has been replaced by decorative masonry veneer over a wood or metal sub-frame, and steel lintels have replaced arches or stone lintels as load bearing structural elements that frame openings in building walls. This means that many traditional design elements are now merely decoration applied to the shell of a building in an attempt to mimic traditional styles.

However, today it is often the case that traditional design elements are poorly done. The core principle of these design guidelines is that traditional design elements should be done well, even if they are decorative due to the use of modern construction methods.

Contemporary building methods eliminated the structural purpose of many traditional design details. Today, traditional details are most often used as decoration without a structural purpose, or worse, omitted entirely. While they may not have a structural purpose, traditional details should be accurately portrayed to signal solidity and value, and to respect architectural tradition. Accurate details are easily distinguished from poor imitations. For this reason, if a

Getting traditional design details right is important because those details provide a sense of *apparent structure* to a building. Apparent structure is created when design details accurately reproduce building elements that used to be structural elements, but are now cosmetic. It is precisely these visible structural elements such as headers over wall openings that provide a traditional building with an air of permanence and solidity. On the other hand, inauthentic or poorly executed decorative versions of traditional design elements clearly distinguish many contemporary buildings as a poor reproduction of traditional buildings. Finally, contemporary traditionally-styled buildings without apparent structure are perceived as being less permanent and of lower quality than a comparable building with authentic design details that provide apparent structure. Anything worth doing is worth doing properly.

It is the intent of these design standards to ensure that traditional design details are executed properly within the context of contemporary building practices to ensure a more authentic representation of traditional styles and design elements.

1.5 Principles

These design standards are based in the following three principles:

- 1.5.1. Human Scale. Traditional design typically emphasizes symmetry and vertical orientation, both of which reflect the form of the human figure. Vertical openings also limit the width in relation to the area of an opening, which was important because it reduced the length and strength of the load-bearing lintel or arch required to span the opening. Vertically proportioned openings made aesthetic, structural, and economic sense.
- 1.5.2. Apparent Structure. In an age before hidden structural solutions and modern synthetic materials, each element of a building had to serve a specific and crucial function. Each element of classical, or traditional, architecture derived from a building's most basic requirements: to stand up and to shed water.

The width of openings, roof pitch, depth of eave projections, and details of drip moldings are all examples of details that have a practical basis. Traditional buildings were true to the limitations of their materials, but modern construction methods have freed us from many of the constraints that shaped traditional building elements in the past.

No longer bound by the structural limits of stone, masonry, or wood, we can span long distances with thin members or cantilever large platforms out from a wall using modern materials. This is good and appropriate for architectural styles that celebrate the possibilities of modern materials and construction methods in an authentic and honest manner. When traditionally-styled buildings are built with modern structural elements, however, it remains important to use accurate design details that reflect the structural capabilities of the traditional materials that decorate the outside of the structure.

When modern buildings are given a traditional style without proper use of traditional details, buildings look fake and inauthentic. Inappropriately detailed traditional design elements make a building appear off, and it is clear that the building is inauthentic. The greatest test for a traditionally-styled building that uses modern construction methods is: is it believable? Does the building look like it would stand up if it were built using traditional materials and construction methods instead of modern underpinnings with traditional style draped over it?

- 1.5.3. Details. Traditional buildings rarely had architectural details that did not serve a purpose. Form follows function is not a new concept – it has been the basis for traditional building design for millennia. For this reason, many traditional building elements have a few very specific ways to be correctly built. Much of the architectural expression in traditional buildings comes from the details – for instance, the elaborate bracket forms that supported projections

or the column capitals of the classical building orders. These functional details were then elevated to a higher level of design and expression with additional flourishes. On the other hand, modernist buildings were based explicitly on a machine aesthetic and adopted very little in the way of decoration or detailing.

- 1.5.4. Build For The Long Term. A well-built building can last for centuries, while a poorly built one may last for decades. When constructing a new house, durability and permanence should have higher preference than economy. A well-built building with a higher initial cost has a lower lifetime cost compared to an economy building that will not last as long or be as durable over the years. It is a tenet of these design standards that it is better to build simply but well.

2. Administrative Procedures

2.1 Basis

These architectural design standards are the “building design guidelines” referred to in Section 82-166 of the Zoning Ordinance, and are thereby adopted by reference as part of the Zoning Ordinance. These design standards were recommended by the Planning Commission on _____, 2015 and adopted by the City Commission on _____, 2015 and may be updated from time to time by the City Commission upon recommendation by the Planning Commission.

2.2 Interrelation with Other Laws or Codes

In case of contradiction with applicable state or federal laws rules or regulations, including without limitation building codes or life safety codes, the applicable state and federal laws rules and regulations shall govern. In no way does compliance with these design standards exempt a structure from conformance with other applicable laws, rules or regulations.

2.3 Applicability of Standards

2.3.1. Minimum Standards. These design standards are the minimum standards that shall be applied. The reviewing authority may require higher standards depending on the character and context of the site to ensure a harmonious relationship with neighboring sites and to ensure a high level of aesthetic quality throughout the community.

2.3.2. Required, Recommended, and Optional Provisions. Provisions herein are activated by the terms “shall” or “must” when required; “should” when recommended; and “may” when optional.

2.3.3. When These Requirements Apply.

- a. *New Construction.* Compliance with these design standards is required for all new construction.
- b. *Additions or Substantial Renovations.* Compliance with these design standards is required for additions to or substantial renovations of existing buildings which expand the structure’s floor area by 25% or more. Only the portion(s) of the building being added or renovated shall be subject to compliance with these standards. Portions of an existing building that are not being modified may remain as-is.

The reviewing authority may in its discretion allow for limited modifications to or departures from these design standards for the purpose of consistency between a proposed addition or substantial renovation and the existing portion of the building.

- c. *Minor Improvements, Changes, and Alterations to Existing Buildings.* Such activities that do not increase the structure’s floor area by 25% or more need not comply with these design standards, but are encouraged to meet the design standards where feasible.
- d. *Maintenance Activities.* Maintenance activities that are part of the normal upkeep of an existing building, and that are a direct replacement of existing elements of the building and that do not change the design of the building or a building element do not need to comply with these design standards so long as the materials being used are equal to or better than the materials being replaced. Example: a house that has existing vinyl siding may be re-sided in vinyl, but a house that has cementitious siding shall use equivalent or better materials and may not use vinyl siding.

- 2.3.4. Not All Sections Apply To Every Building. The design standards contained herein that address specific building elements, such as shutters, dormers, headers over openings in masonry walls, etc. shall only apply if that building element is being proposed. For instance, if no shutters or dormers are being proposed, then those sections will not apply.

Unless explicitly stated, nothing herein should be construed as requiring buildings to have specific or particular design elements. The purpose of the standards for specific design elements is to ensure that they are properly detailed if they are proposed.

The following table summarizes sections of these design guidelines that, when compliance is required by Section 2.3.3, apply in any case and which sections apply only when a particular building element is used.

Sections that apply in all cases	Sections that apply in some cases
3.1 – Massing and Composition	3.3 – Header Elements for Openings in Masonry Walls
3.2 – Walls	3.5 – Eaves and Gable Ends
3.4 – Windows	3.6 – Roofs
	3.7 – Columns and Column Spacing
	3.8 – Dormers
	3.9 – Attachments

- 2.3.5. Non-Traditional Buildings. Buildings that clearly and accurately use non-traditional styles (including Art Deco, Modernist, Mid-Century Modern, Contemporary, LEED, etc.) may be exempted from specific requirements of these design standards as is appropriate. Buildings that purport to use non-traditional styles but that, in the opinion of the reviewing authority, are simply utilitarian shall comply with all of the requirements herein. Buildings that wish to claim an exemption from any section shall include a statement identifying the style and why each requested exemption is warranted. The reviewing authority shall determine if an exemption is warranted.

2.4 Review Procedure and Authority

- 2.4.1. Reviewing Authority. Exterior design review shall occur simultaneously with site plan review when it is required, or simultaneously with building permit review when site plan review is not required. The review authority shall be the Planning Commission whenever building design review occurs in conjunction with an application requiring Planning Commission approval, and the City Manager in all other instances.
- 2.4.2. Appeal. Applicants may appeal a decision of the City Manager to the Planning Commission, and may appeal a decision of the Planning Commission to the Zoning Board of Appeals. An applicant requesting an appeal shall submit the request in writing, specifying the basis for the appeal and why the applicant believes the appeal is justified. The City shall place the appeal on the next available Planning Commission or Zoning Board of Appeals agenda. The City shall provide notice of the appeal using the procedures for a public hearing set forth in Section 82-46 of the Zoning Ordinance.

2.5 References

These design guidelines are based on the application of traditional design conventions. These conventions are derived from a number of sources. Where approvals, interpretations and judgments are left to the discretion of the approving authority, he/she/the body may use the following texts for guidance as to best practices:

- a. Marianne Cusato, Get Your House Right: Architectural Elements to Use & Avoid (Sterling 2007);
- b. Werner Hegemann and Elbert Peets, The American Vitruvius: An Architects' Handbook of Civic Art (Princeton Architectural Press, 1988);
- c. Stephen Mouzon, Traditional Construction Patterns: Design and Detail Rules of Thumb (McGraw-Hill, Inc. 2004);
- d. William Ware, The American Vignola: A Guide to the Making of Classical Architecture (W.W. Norton and Company, 1977);
- e. Local or regional examples on file with the City.

The above list is not exclusive; additional texts and illustrations may be used for reference and the list may be updated periodically. The above texts and illustrations will be available at City Hall for applicants to review. Applications for development in Pleasant Ridge are not required to comply with the design specifics of the recommended texts and illustrations; the texts and illustrations are for reference and guidance only.

Many graphic illustrations of concepts used in this document are reproduced from Stephen Mouzon's Traditional Construction Patterns and Marianne Cusato's Get Your House Right.

3. Architectural Design Standards

3.1 Massing and Composition

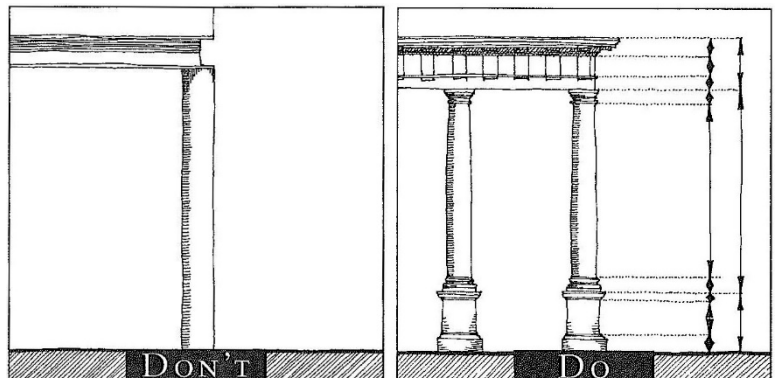
- 3.1.1. Neighborhood Compatibility. Pleasant Ridge is a traditional neighborhood. In traditional neighborhoods, houses work together to create streetscapes. Rather than each building generating all its own interest, traditional buildings work together to create outdoor rooms. Every building does not need to be a focal point. When designing new houses or additions to existing houses, designers shall consider how the new house will fit into and complement the existing streetscape.
- 3.1.2. Simplicity of Massing. Simple masses of one or a few boxes are characteristic of Pleasant Ridge's existing traditional architectural character. Similar massing shall be used for new construction. Complicated masses that require complex roof forms and breaks are expensive to build and may only be permitted if specific to a particular identifiable style being used for new construction.
- 3.1.3. Hierarchy of Massing. The location of the main body of the house and the human entrance shall be easily distinguished. The car entry shall not be the most notable element of the building massing.
- 3.1.4. Composition. Composition refers to the arrangement of elements on the building. Elements include the size and location of openings (doors and windows), building details, roof design, and massing of the main bodies of the structure. Houses are generally composed in a symmetrical or asymmetrical manner. In either type of composition, a well-composed building will be balanced around a focal point.

- a. *Symmetrical Composition.* In a symmetrical composition, the building entrance is in the center of the front façade and building elements are repeated in mirror image on either side of the façade surrounding the central entrance. The entrance serves as the focal point and the visual weight of the building is equal on each side of the central point. Being the focal point of the structure, the entrance should be detailed accordingly.

Symmetrical design on non-front facades may lack a centrally located entrance as a focal point, and instead may consist of repeated, equal elements.

- b. *Asymmetrical Composition.* Asymmetrical buildings must be carefully composed to ensure that the visual composition of the building is in balance. When composing an asymmetrical building, the massing of volumes should be balanced around the focal point (such as a chimney, the front door, or other notable element).

- 3.1.5. Base, Middle, Top. Nearly every element of traditional architecture reflects the head/body/feet arrangement of the human body. For instance, traditional buildings are composed of a visible roof or entablature (head), wall (body), and foundation (feet). Traditional columns consist of the capital (head), shaft (body), and the base (feet).



Buildings shall be appropriately detailed to follow the base/middle/top pattern throughout their composition.

- 3.1.6. Large Wall Composition. Large blank walls are discouraged. The mass of large building walls shall be reduced by the inclusion of windows, vertical elements with a plane change from the wall surface, shadow-casting elements, material changes, or other methods.

3.2 Walls

- 3.2.1. Entrances. The street facing façade of any building shall be detailed as the front façade and should contain an operable entrance. If an operable entrance does not exist, design elements that replicate the form and mass of a front entrance and that could be converted to an operable entrance shall be provided.
- 3.2.2. Transparency. Transparency is defined as the percentage of the front façade area that contains door or window openings.
- a. Residential. Residential structures shall have 15-35% transparency on the front façade.
- b. Non-residential. Non-residential structures shall have at least 40% transparency on the first floor front façade and at least 25% transparency on upper-story facades.
- 3.2.3. Building Materials.

- a. *Building Materials.* Building materials used for all buildings shall be durable, natural materials or synthetic materials that realistically reproduce the look and feel of natural materials.

Approvable building materials for traditionally-styled buildings include brick, wood (does not include T-111 or particle board products), fiber cement siding that are paintable and that realistically replicate wood (Hardiplank or similar), decorative masonry block, and stucco (true cement plaster stucco using lime, aggregate/cement, sand, and water – EIFS does not qualify).

Metal sheeting or panels can be appropriate as an accent material, but should not be a primary exterior material.

When fiber cement siding products are used, smooth boards without a raised grain shall be specified. This more closely replicates the historical appearance of real wood siding.

- b. *Number of materials.* No more than two building materials should be used on any façade to avoid a cluttered or overly complex appearance, not including foundation walls or piers.
- c. *Building materials on non-street facing facades.* Higher-quality cladding materials should be used in consistent proportions on all visible facades and not just on the street face to avoid creating a false-front image. Any material used on a front façade shall be continued in equal proportions no less than 3 feet along adjacent side walls.
- d. *EIFS.* No more than 10% of any façade on any building style shall be covered by EIFS systems (EIFS used for cornices shall not be counted towards the 10% maximum), and EIFS may not be used on the first floor of a building. Stone-dash, pebble-dash, and

maximum textured stucco with adequate detailing such as recessed bands or integral half-timbering are not subject to the 10% EIFS maximum.

- e. *Vinyl Siding.* No more than 15% of a front façade or 40% of any other façade shall be covered by vinyl siding. Vinyl is best used as an accent material, for instance in gable ends.

Garages located at the rear of the lot may be clad in vinyl siding.

- f. *Vinyl Siding Trim Details.* Wherever vinyl siding is used, efforts shall be taken to minimize the appearance of the siding disappearing underneath a j-channel. Traditional wood siding terminated into, not under a trim board, and so trim materials other than j-channels shall be used that replicate the same appearance of vinyl siding terminating into a trim board rather than underneath it.

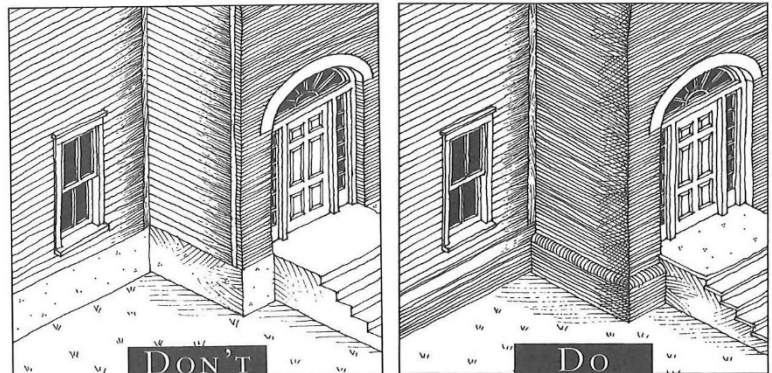
Vinyl trim pieces shall have a width of at least 3 inches to provide a more visually accurate reproduction of the detailing used for wood siding, which is the material that vinyl siding is intended to replicate.

- g. *Façade Percentage Calculation.* For the purposes of calculating façade coverage, the percentage of façade area shall be determined by the area covered by the material divided by the total wall surface area of the façade. Openings such as doors and windows and gable ends shall be included in the total wall surface area.

3.2.4. Arrangement and Transition of Multiple Building Materials.

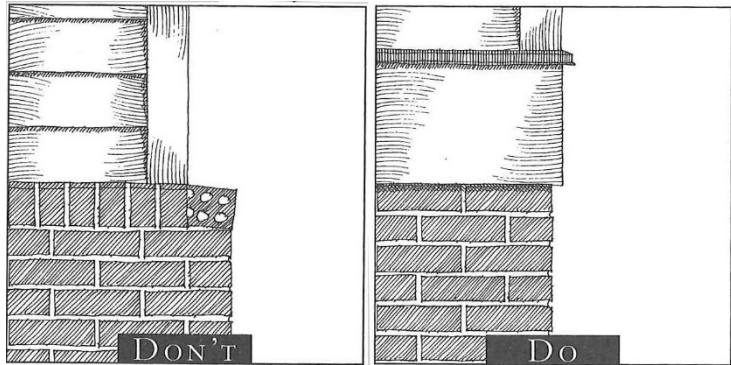
- a. *Horizontal Arrangement.* When multiple materials are used on a façade, the heavier or heavier appearing material shall be located under the lighter or lighter appearing material. For instance, masonry or stone elements should not be located above wood elements.

- b. *Vertical Arrangement.* Vertical joints between different materials shall not occur at outside corners, but shall occur at inside corners. At a minimum, vertical material transitions shall wrap at least 3 feet around an outside corner (see 3.2.2.c).



3.2.5. Height. Exterior walls should have a minimum height of at least 9 feet on the first floor.

3.2.6. Frame Wall/Masonry Base Alignment. The face of stud of the frame wall should align with the face of the masonry or stone foundation wall below. A horizontal masonry ledge should not be used.

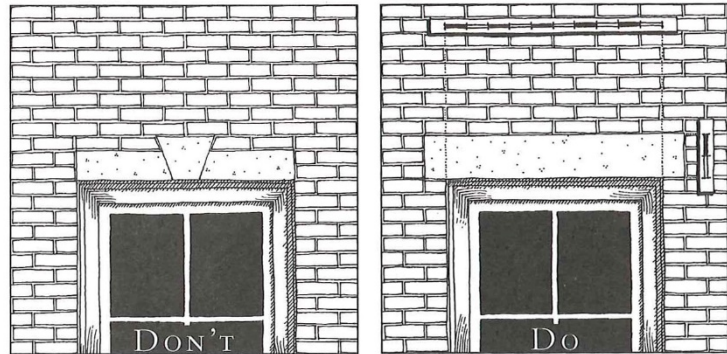


3.3 Header Elements for Openings in Masonry Walls

3.3.1. Header Required. Masonry veneer walls (brick or block) shall be detailed as if they were structural masonry walls. This means that openings in masonry or stone veneer walls shall have a stone header, masonry arch, or other visually self-supporting element to visually carry the weight of the wall above the opening. Wood window or door heads may be used to decoratively cap an opening in a masonry wall.

3.3.2. Masonry or Stone Lintel Proportion.

- a. The height of the lintel or header should be equal to $\frac{1}{5}$ of the width of the opening it spans.
- b. The header element shall be wider than the opening to accurately portray that it is supported by the masonry or stone on either side of the opening. The header element should extend beyond the opening a distance equal to $\frac{1}{2}$ of the height of the lintel. If an 8 inch tall lintel is used, it should extend 4 inches on either side of the opening.



3.3.3. Arches. Arches work for one reason: their parts, whether brick or stone, are tapered like wedges toward a radius point. Without this characteristic they would collapse, and it is this characteristic that veneer arches must realistically portray.

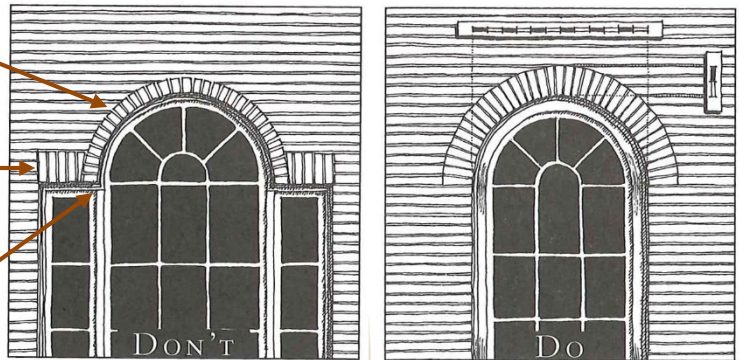
- a. The thickness of the arch should not be less than $\frac{1}{6}$ of the width of the opening it spans.

- b. All arches must be supported by masonry or other building element that convincingly appears as if it could carry the weight of the arch.

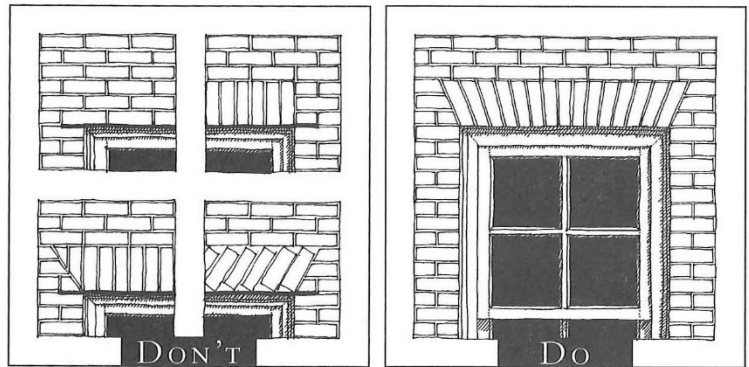
Arch is not thick enough to visually carry the weight of the wall above

Guillotine header without vertical support

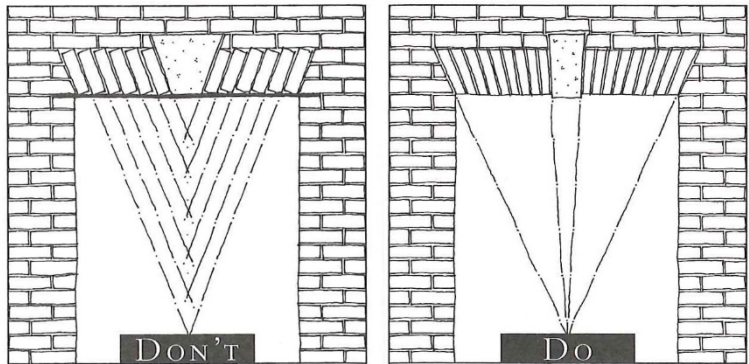
No vertical support for arch – window is carrying the visual weight of the arch



- 3.3.4. Jack Arches. Jack arches should be constructed of gauged (tapered, non-rectangular) brick, rather than simply leaning the bricks to either side at the same angle. Brick or masonry jack arch details should be constructed in a manner that they could carry their own weight, with all joints converging on a single radius point.



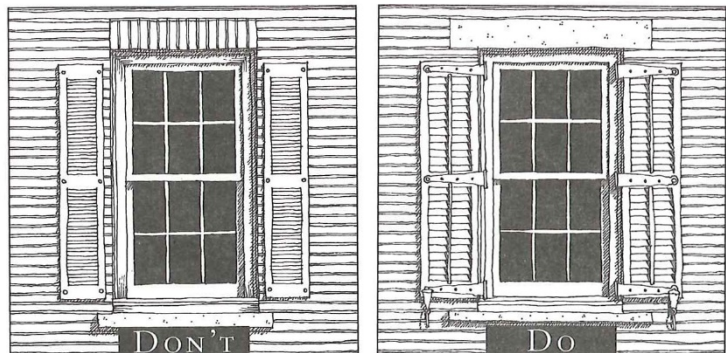
- 3.3.5. Keystones. Keystones should not be used as part of a picture-framed window casing, and keystones should only be used in lintels with tapered (not square) ends.



3.4 Windows

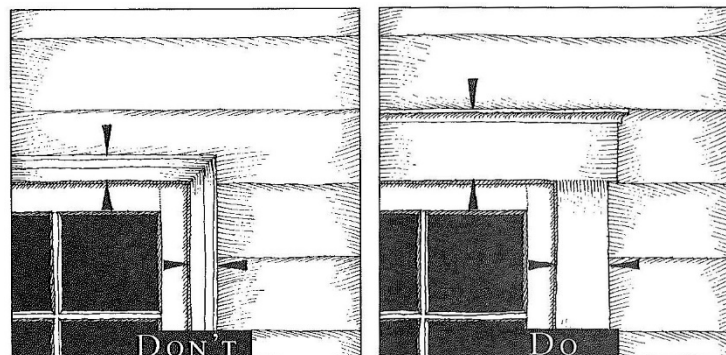
- 3.4.1. Window Proportion. Windows and individual window panes shall be square or vertically proportioned. It is acceptable to mull individual vertically-proportioned windows together to create an overall opening with a horizontal proportion if there are vertical divisions such as mullion casings within the overall horizontal span.
- 3.4.2. First Floor Window Alignment. Windows on the first floor should be set not more than 2.5 feet above the floor in primary rooms on the first floor. Window head heights should match the head height of the primary entrance on the first floor.
- 3.4.3. Reveal. Windows should not be mounted flush with the face of the wall material. Rather, they should be set back to create a reveal.
- 3.4.4. Shutters.

- a. Shutters should be one-half of the width of the sash they are covering to replicate the appearance of functional shutters.
- b. Shutters should have apparent hinges and dogs to accurately portray functional shutters.



3.4.5. Window Casing.

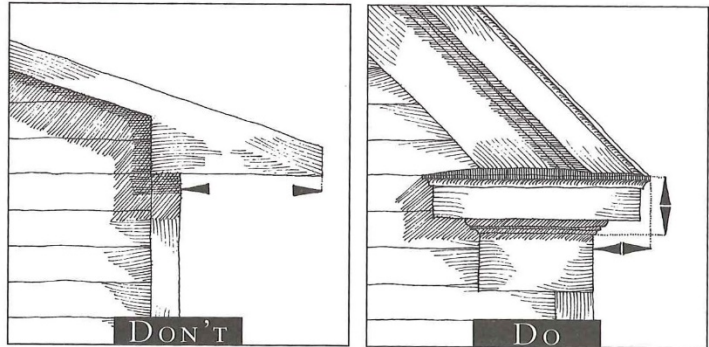
- a. Door and window casing shall be at least 3.5 inches wide except on brick walls.
- b. Head casing shall be equal to or wider than jamb casing, and should have a height of not less than $\frac{1}{6}$ th the width of the opening. Head casing should not be used if there is no jamb casing to match to it.
- c. When windows are mull together, mullion casing shall have a minimum width of 3.5 inches.



3.5 Eaves and Gable Ends

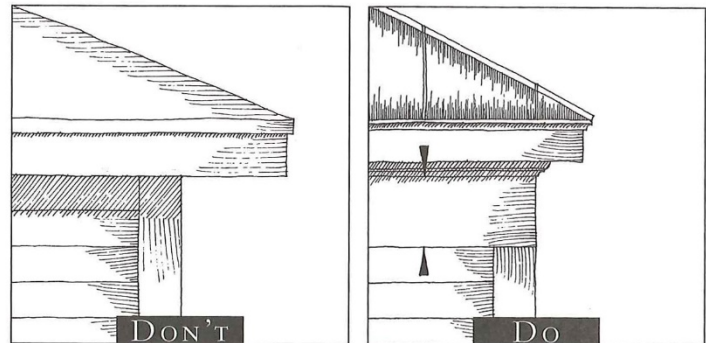
3.5.1. Eave Lines. Eaves should be as continuous as possible, both horizontally and vertically.

3.5.2. Eave Return. Eaves should be trimmed in such a manner that the fascia returns around the corner and dies into the wall without the excess triangle attached to the raking cornice. The projection of the eave away from the wall should equal the height of the cornice. Eave returns should be capped with simple trim with a slope of 1/12. Shingled caps with steeper slopes are not recommended.



Vernacular eaves constructed without a return should not be detailed with a pork chop eave (as shown in the “don’t” illustration).

3.5.3. Friezes. A frieze board of some sort should occur below almost every eave, regardless of wall material. The frieze should never be picture-framed around an eave return.



3.6 Roofs

3.6.1. Overlapping Gables. Overlapping gables should only be used if they are appropriate to the style, or when the smaller gable is part of a balcony, porch, or entrance.

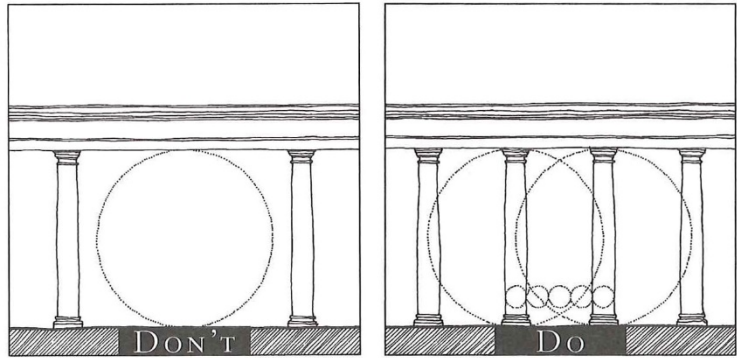
3.7 Columns and Column Spacing

3.7.1. Entablature. Whenever columns are used to visually support an entablature, the entablature should be equal to at least 15-25% of the height of the columns. The entablature shall consist of a cornice, frieze, and architrave. The cornice should project a dimension equal to its height, and the architrave should be a height equal to or less than the height of the frieze. The architrave and the frieze should be distinguished by a narrow band.

3.7.2. Intercolumniation. Columns shall not be horizontally separated a distance greater than their height unless appropriate to the style.

3.7.3. Roof or overhang Projection.

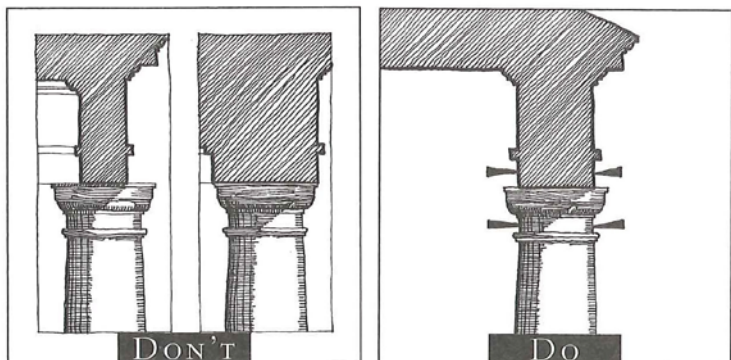
- a. *Beam*. When columns are used to support a porch roof or overhang, the beam at the top of the porch columns should be visible to visually support the mass of the building.
- b. *Support where a projection meets a wall*. When a canopy or porch overhang projects from the building, it should be visually supported where it meets the wall by a pilaster or engaged column. Pilasters shall project away from the building a depth of $\frac{1}{5}$ to $\frac{1}{4}$ of their width, while engaged columns shall project $\frac{5}{8}$ to $\frac{3}{4}$ of its diameter from the wall.



3.7.4. Column Proportion. Columns used to support one-story loads should have the following dimensions:

Column Height	Width at Base	Width at Neck
8 feet	10 inches	8 inches
9 feet	11 inches	9 inches
10 feet	12 inches	10 inches

3.7.5. Column-Beam Alignment. The neck of the column should align with the face of the beam it is supporting. In other words, the capital element of the column should extend farther out than the beam.

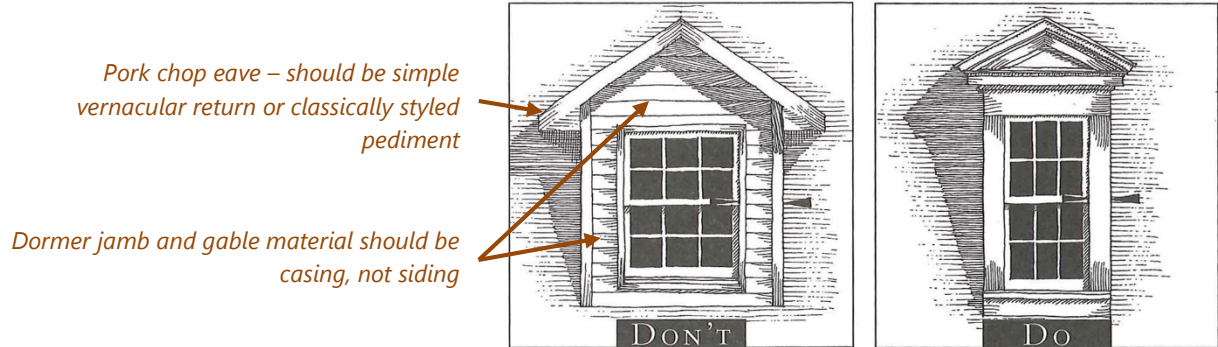


3.7.6. Base and Capital Elements. Columns and posts, which are square columns, shall have base and capital elements. Generally, the base and capital should have a height roughly equal to the width of the column or post. Base and capital elements for a post may be ornate or

simple, with a simple detailing consisting of casing moldings, with a cove molding used to connect the capital to the beam the post is supporting.

3.8 Dormers

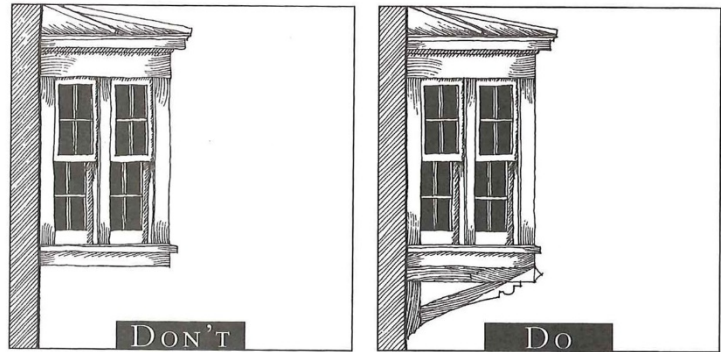
- 3.8.1. Dormer Jamb Material. Dormer jamb materials should not include siding, but rather should be a solid casing assembly from the window to the corner of the dormer wall.
- 3.8.2. Dormer Body Proportion. The body of a single-window dormer shall be vertically proportioned or square. Dormer windows should be proportioned similarly to or slightly shorter than windows in the floor below.
- 3.8.3. Dormer Body/Roof Proportion. Dormer roofs should be between 25 and 40 percent larger than the width of the dormer body. Classical eaves will be closer to 25%, while vernacular open eaves are the only ones that should approach the 40% limit.
- 3.8.4. Brick Dormer Face. Brick should be used for a dormer face only when the brick forms a parapet at the top of the dormer.



3.9 Attachments

3.9.1. Visible Support for Projections.

Balconies, bay windows, deep roof overhangs, and other similar projections shall sit atop a base that extends to the ground, or be visually supported by brackets, corbels, or other appropriate support elements of an appropriate size.

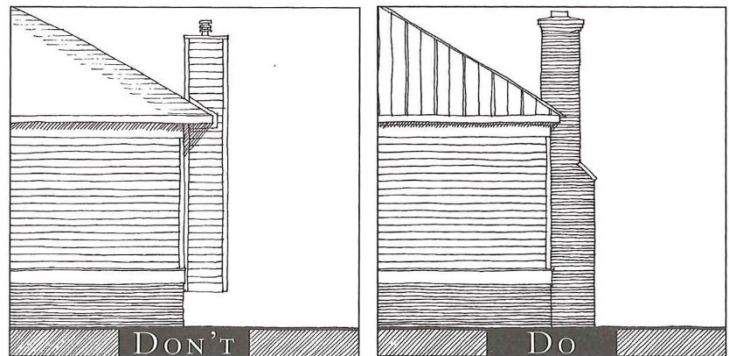


3.9.2. Chimneys.

- a. *Materials.* When visible, chimneys shall be sheathed in brick, stone, or stucco and must have a base that extends to the ground. Where a masonry chimney is not feasible, gas vents should simply be extended out through the wall or through the roof like a plumbing vent.

- b. *Chimney Configuration.* Box detailed chimney structures or protrusions that are not brick and/or do not extend to the ground are not permitted.

Chimneys shall include a projecting cap that may be as simple as a stone or concrete cap or projecting brick header course.



4. Definitions

All terms herein shall have their common and accepted meaning. When the meaning of an architectural term is disputed or unclear, it shall be as defined in Traditional Construction Patterns: Design and Detail Rules of Thumb by Stephen A. Mouzon. A reference copy is available at the City of Pleasant Ridge City Hall.



City of Pleasant Ridge

James Breuckman, City Manager

From: Jim Breuckman, City Manager
To: City Commission
Date: February 4, 2016
Re: Gainsboro Park Update

Overview

Staff will present the 60% construction plans along with status updates on the development of the plans for the 5-12 playground, and an update on the status of the tennis court repairs.

Requested Action

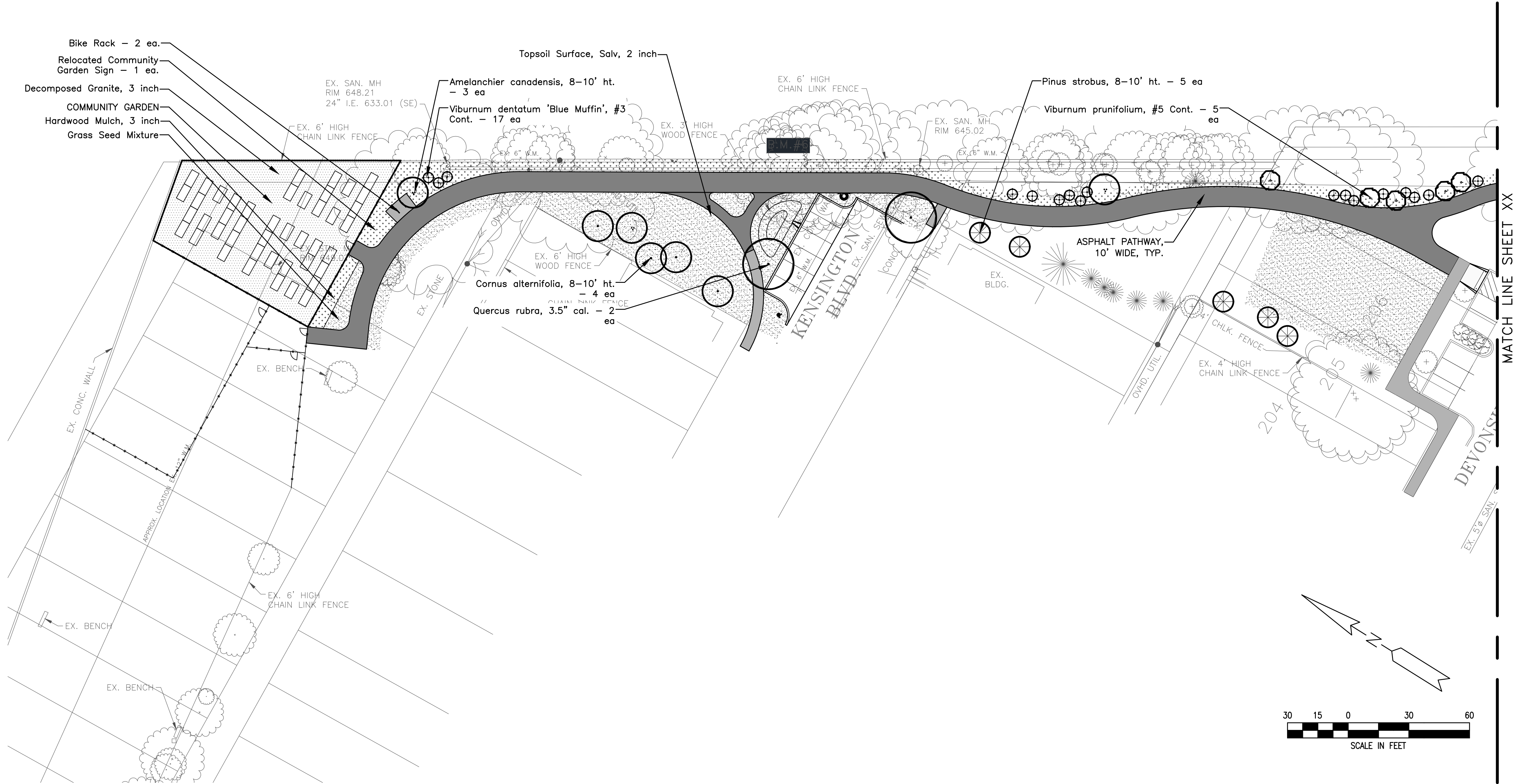
City Commission selection of two representatives to the playground sub-committee.

Background

The City's park design consultant, livingLAB, continues to work with our City Engineer on the construction drawings and bid specifications for the Gainsboro Park project. At this time, the construction drawings are at 60% completion.

The completed construction drawings will be presented to the City Commission for approval at the April meeting, and will be let out to bid shortly thereafter.

The 5-12 year old playground will be designed by Penchura, the same firm that was selected to design and install the 2-5 year old playground at Gainsboro Park. A sub-committee made up of two recreation commissioners, two City Commissioners, and City Staff will work with Penchura to develop the plan for the 5-12 year old playground within the \$150,000 budget allocation for that area. That process will proceed in parallel, but separate from the overall park design and construction.



project:
**Gainsboro Park
Improvements**

location:

Pleasant Ridge, Michigan

title:

Landscape Plan

client:

City of Pleasant Ridge
23925 Woodward Avenue
Pleasant Ridge, Michigan 48069
248.541.2901

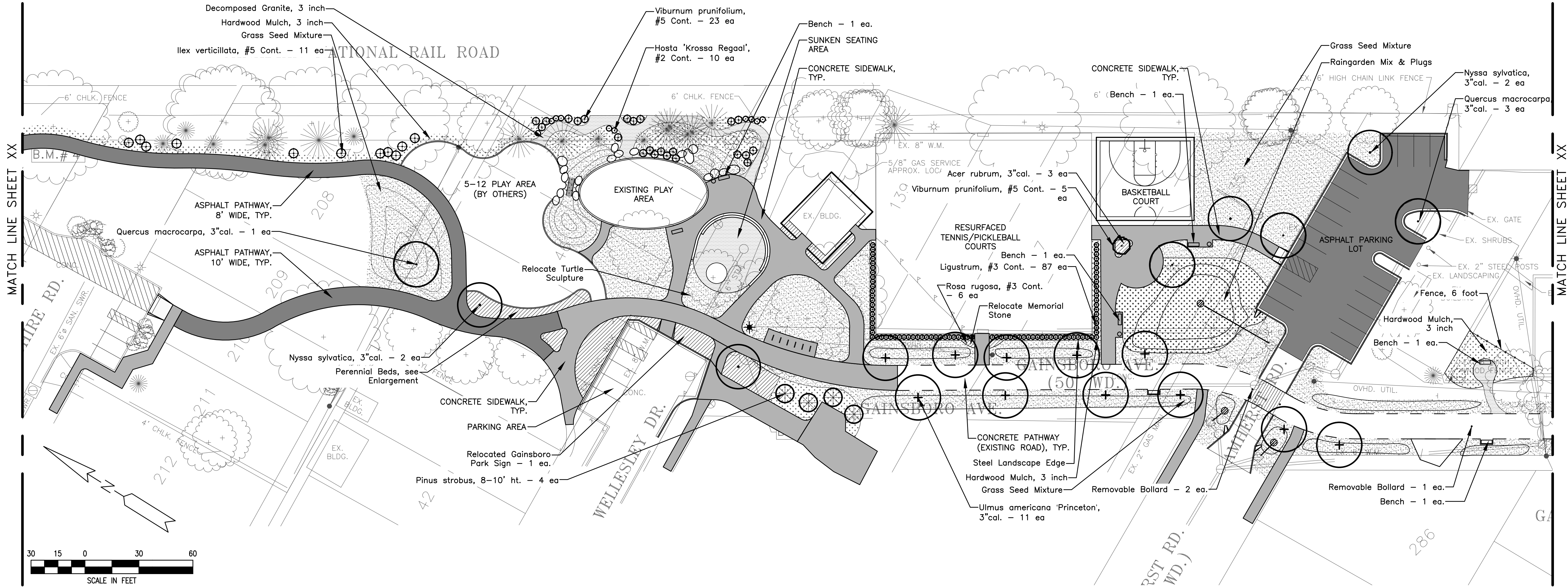
issue + revision:	date:
30% Review	11-30-15
Plan Revisions	12-4-15
60% Submittal	2-5-16

project information:

project manager: CRP
drawn by: JPM
date: 11/6/15
project #: pri0003.1

scale: 1" = 30'

sheet number:



project:
Gainsboro Park Improvements

location:

Pleasant Ridge, Michigan

title:

Landscape Plan

client:

City of Pleasant Ridge
23925 Woodward Avenue
Pleasant Ridge, Michigan 48069
248.541.2901

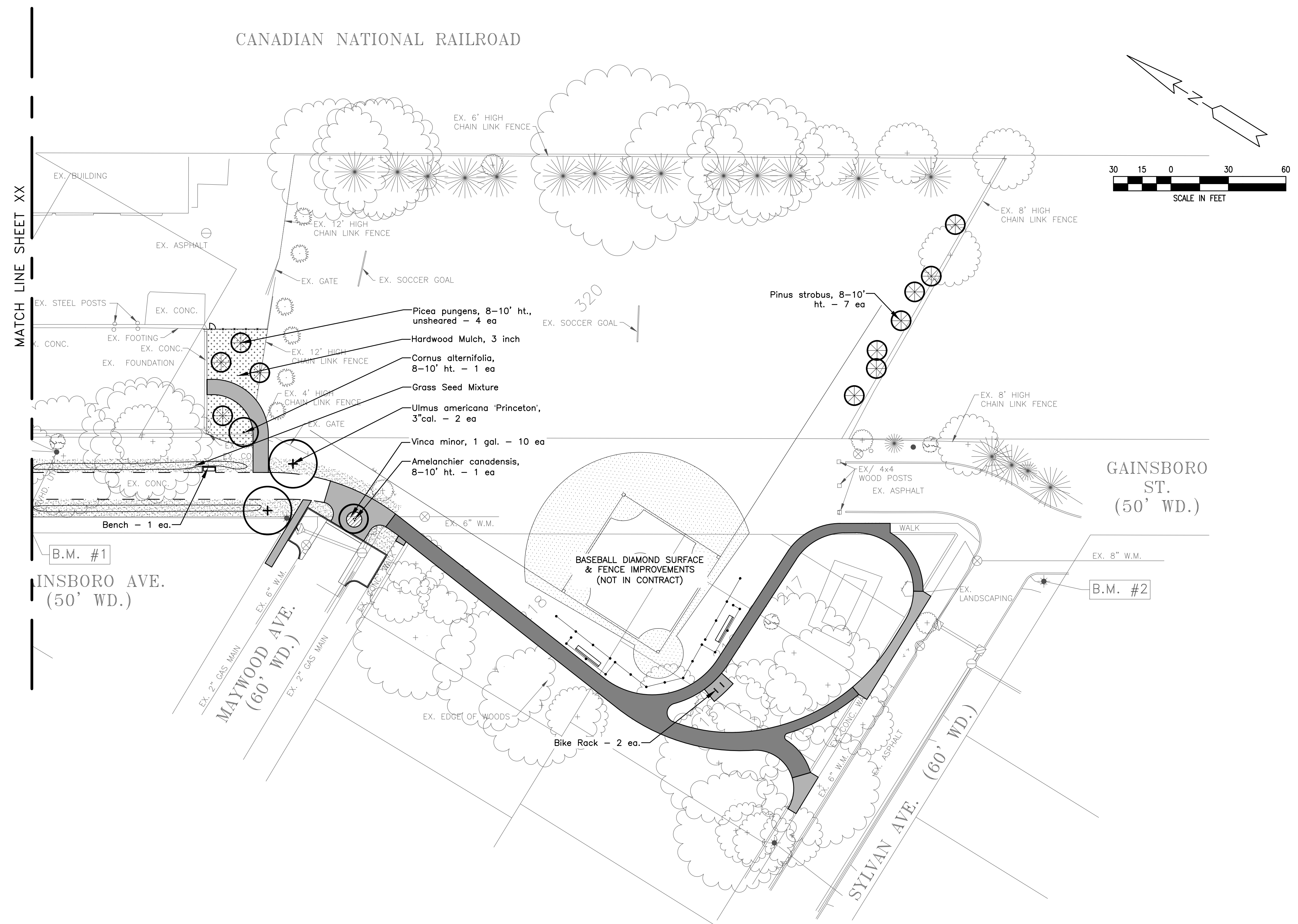
issue + revision:	date:
30% Review	11-30-15
Plan Revisions	12-4-15
60% Submittal	2-5-16

project information:

project manager: CRP
drawn by: JPM
date: 11/6/15
project #: pri0003.1

scale: 1" = 30'

sheet number:



4444 Second Avenue
Detroit, Michigan : 48201
313.974.7602
www.livinglabdetroit.com

Gainsboro Park Improvements

Pleasant Ridge, Michigan

Landscape Plan

City of Pleasant Ridge
23925 Woodward Avenue
Pleasant Ridge, Michigan 48069
248.541.2901

30% Review 11-30-15

Plan Revisions 12-4-15

60% Submittal 2-5-16

project information:

project manager: CRP

drawn by: JPM

date: 11/6/15

project #: pri0003.1

scale: 1" = 30'

sheet number:

SITE FURNISHINGS ALTERNATIVES

Below are two site furnishings packages that could be considered for Gainsboro Park. Please select a 'Look and Feel' that you feel appropriate to move forward.

ALTERNATIVE A



Victor Stanley Freesia Bench



Victor Stanley Ironside Litter



Victor Stanley Cycle Sentry Bike Rack

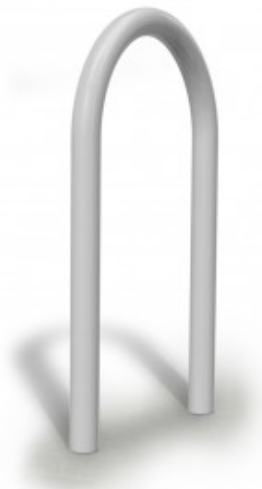


Reliance Foundry R-7539 Fluted Removable Bollard

ALTERNATIVE B



Victor Staley Lily Bench



Victor Stanley Cycle Sentry Bike Rack
(Specified in Aluminum Finish)

**Alternative B could also be black finish*



Landscape Forms Park Vue Litter



Reliance Foundry R-7530
Fluted Removable Bollard
(Specified as aluminum finish)

Gainsboro Park

Period Highlight: 18

Plan

 Actual

Complete

Actual (off plan)

Complete (off plan)

[illegible]